

**CITY OF DELAWARE
CITY COUNCIL
MEETING TO BE HELD VIRTUALLY VIA CISCO Webex **
7:00 P.M. MEETING**

AGENDA

7:00 P.M.

June 22, 2020

1. ROLL CALL
2. INVOCATION
3. APPROVAL of the Motion Summary of the special meeting of Council held on June 8, 2020, as recorded and transcribed.
4. CONSENT AGENDA
 - A. Acceptance of the Motion Summary of the Board of Zoning Appeals meeting held on November 11, 2019, as recorded and transcribed.
 - B. Acceptance of the Motion Summary of the Finance Committee meeting held on May 13, 2020, as recorded and transcribed.
 - C. Acceptance of the Motion Summary of the Records Commission meeting held on December 16, 2019, as recorded and transcribed.
 - D. Resolution No. 20-36, a resolution extending boards and commission appointments set to expire on June 30, 2020 until December 1, 2020.
5. LETTERS, PETITIONS, AND PUBLIC COMMENTS

Due to the meeting being held virtually, public comment is requested to be received either before or during the meeting through email at emccloskey@delawareohio.net. Comments received on Facebook may have to be addressed by staff subsequent to the meeting.
6. 7:30 P.M. PUBLIC HEARING AND SECOND READING of Ordinance No. 20-33, an ordinance approving a Rezoning Amendment for the Delaware County Commissioners for the Delaware County Fairgrounds from R-3 (One Family Residential District) and B-3 (Community Business District) to R-3 and B-3 PMU (Planned Mixed-Use Overlay District) on approximately 101 acres and located at 236 Pennsylvania Avenue.

Due to the meeting being held virtually, public comment is requested to be received either before or during the meeting through email at emccloskey@delawareohio.net. Comments received on Facebook may have to be addressed by staff subsequent to the meeting.

7. 7:30 P.M. PUBLIC HEARING AND SECOND READING of Ordinance No. 20-34, an ordinance approving a Conditional Use Permit for the Delaware County Commissioners allowing the placement of a Planned Mixed-Use Overlay District (PMU) on the Delaware County Fairgrounds on approximately 101 acres zoned R-3 and B-3 PMU and located at 236 Pennsylvania Avenue.

Due to the meeting being held virtually, public comment is requested to be received either before or during the meeting through email at emccloskey@delawareohio.net. Comments received on Facebook may have to be addressed by staff subsequent to the meeting.

8. SECOND READING of Ordinance No. 20-35, an ordinance approving a Preliminary Development Plan for the Delaware County Commissioners for the Delaware County Fairgrounds on property zoned R-3 and B-3 PMU on approximately 101 acres and located at 236 Pennsylvania Avenue.

9. 7:30 P.M. PUBLIC HEARING AND SECOND READING of Ordinance No. 20-36, an ordinance approving two alley vacations for the Delaware County Commissioners for the Delaware County Fairgrounds on property zoned R-3 and B-3 PMU on approximately 101 acres and located at 236 Pennsylvania Avenue.

Due to the meeting being held virtually, public comment is requested to be received either before or during the meeting through email at emccloskey@delawareohio.net. Comments received on Facebook may have to be addressed by staff subsequent to the meeting.

10. SECOND READING of Ordinance No. 20-37, an ordinance approving a Combined Preliminary and Final Development Plan for Skilken Gold Real Estate Development for Sheetz located on lot 12722 of Coughlin's Crossing (within Sub-Area 6) on approximately 1.88 acres located east of US 23 just south of Penny Way and Zoned A-1 PMU.

11. 7:40 P.M. PUBLIC HEARING AND SECOND READING of Ordinance No. 20-38, an ordinance approving a Conditional Use Permit for Skilken Gold Real Estate Development for Sheetz located on lot 12722 of Coughlin's Crossing (within Sub-Area 6) on approximately 1.88 acres located east of US 23 just south of Penny Way and Zoned A-1 PMU.

Due to the meeting being held virtually, public comment is requested to be received either before or during the meeting through email at

emccloskey@delawareohio.net. Comments received on Facebook may have to be addressed by staff subsequent to the meeting.

12. CONSIDERATION of Resolution No. 20-37, a resolution authorizing the City of Delaware to request a share of funds from the County Coronavirus Relief Distribution Fund.
13. CITY MANAGER'S REPORT & COVID-19 UPDATE:
 - A. Memo from Council Clerk on surrounding communities meeting plans
 - B. Main Street Delaware Request
14. COUNCIL COMMENTS
15. ADJOURNMENT

** This meeting will be a virtual meeting. Residents are encouraged to view online through the City of Delaware Facebook page. To comply with the CDC recommendation prohibiting group meetings, no in person attendance by Council, staff, or the public will be available.

RECORD OF PROCEEDINGS

Minutes of

Delaware City Council

Meeting

PEAR GRAPHICS 800-325-8084 FORM NO. 10148

Held

June 8

20 20

The regular meeting of Council held on June 8, 2020 and was called to order at 7:00 p.m. and was held remotely through Cisco Webex and streamed Live through Facebook due to the State of Emergency – Executive Order 2020-01D. The following members of Council were remotely present: Second Ward Lisa Keller, Third Ward Cory Hoffman, Fourth Ward Drew Farrell, At-Large George Hellinger, Vice-Mayor Kent Shafer (exited the meeting at 8:30 pm) and Mayor Riggle who presided. Absent from the meeting was First Ward Chris Jones. The invocation was delivered by Reverend Tracey Sumner, Reverend Dr. Ruth Locke, and Chaplain Jon Powers.

Staff Present Remotely: Sean Hughes, Economic Development Director, Justin Nahvi, Finance Director, Darren Shulman, City Attorney, Bruce Pijanowski, Police Chief, John Donahue, Fire Chief, Kyle Kridler, Assistant City Manager, and Tom Homan, City Manager

ITEM 3: APPROVAL OF MINUTES

APPROVAL of the Motion Summary of the special meeting of Council held on May 26, 2020, as recorded and transcribed.

APPROVAL of the Motion Summary of the work session meeting of Council held on June 1, 2020, as recorded and transcribed.

Motion: Mr. Jones motioned to approve the Motion Summary of the special meeting of Council held on May 26, 2020, and the work session meeting of Council held on June 1, 2020, as recorded and transcribed, seconded by Mrs. Keller. Motion approved by a 7-0 vote.

ITEM 4: CONSENT AGENDA

- A. Acceptance of the Motion Summary of the Planning Commission meeting held on March 4, 2020, as recorded and transcribed.
- B. Establish June 22, 2020 at 7:30 p.m. for a public hearing and second readings of **Ordinance No. 20-33**, an ordinance approving a Rezoning Amendment for the Delaware County Commissioners for the Delaware County Fairgrounds from R-3 (One Family Residential District) and B-3 (Community Business District) to R-3 and B-3 PMU (Planned Mixed-Use Overlay District) on approximately 101 acres and located at 236 Pennsylvania Avenue, **Ordinance No. 20-34**, an ordinance approving a Conditional Use Permit for the Delaware County Commissioners allowing the placement of a Planned Mixed-Use Overlay District (PMU) on the Delaware County Fairgrounds on approximately 101 acres zoned R-3 and B-3 PMU and located at 236 Pennsylvania Avenue, and **Ordinance No. 20-36**, an ordinance approving two alley vacations for the Delaware County Commissioners for the Delaware County Fairgrounds on property zoned R-3 and B-3 PMU on approximately 101 acres and located at 236 Pennsylvania Avenue.
- C. Establish June 22, 2020 at 7:40 p.m. for a public hearing and second reading of **Ordinance No. 20-38**, an ordinance approving a Conditional Use Permit for Skilken Gold Real Estate Development for Sheetz located on lot 12722 of Coughlin's Crossing (within Sub-Area 6) on approximately 1.88 acres located east of US 23 just south of Penny Way and Zoned A-1 PMU.

Motion: Vice-Mayor Shafer motioned to approve the Consent Agenda, seconded by Mr. Jones. Motion approved by a 7-0 vote.

RECORD OF PROCEEDINGS

Minutes of

Delaware City Council

Meeting

BEAR GRAPHICS 800-325-8094 FORM NO. 10148

Held June 8 2020

ITEM 5: LETTERS, PETITIONS, AND PUBLIC COMMENTS

There was no public participation submitted.

ITEM 6: ORDINANCE NO. 20-30 [Third Reading]

AN ORDINANCE DIRECTING THE CITY MANAGER TO ESTABLISH A BUSINESS ASSISTANCE GRANT PROGRAM, AUTHORIZE APPROPRIATIONS, AND DECLARING AN EMERGENCY.

The Clerk read the ordinance for the third time.

Motion: Vice-Mayor Shafer motioned to enact the emergency clause for Ordinance No. 20-30, seconded by Mrs. Keller. Motion approved by a 7-0 vote.

Motion: Vice-Mayor Shafer motioned to adopt Ordinance No. 20-30, seconded by Mrs. Keller. Motion approved by a 7-0 vote.

ITEM 7: ORDINANCE NO. 20-31 [First Reading]

AN ORDINANCE ACCEPTING THE ANNEXATION OF 1.062± ACRES OF LAND MORE OR LESS, DESCRIPTION AND MAP ARE ATTACHED HERETO AS EXHIBITS "A" AND "B" FOR THE ANNEXATION KNOWN AS THE ALSHAHAL ENTERPRISES LLC ANNEXATION BY MICHAEL R. SHADE, AGENT FOR THE PETITIONER.

The Clerk read the ordinance for the first time.

Applicant:

Michael R. Shade
236 W. Central Avenue
Delaware, Ohio

Mr. Shade requested that Council table Ordinance No. 20-31 until the first meeting of August.

Motion: Mrs. Keller motioned to table Ordinance No. 20-31 until the August 10, 2020 meeting, seconded by Vice-Mayor Shafer. Motion approved by a 7-0 vote.

ITEM 8: ORDINANCE NO. 20-32 [First Reading]

AN ORDINANCE APPROVING A FINAL SUBDIVISION PLAT REQUEST BY GLENN ROAD CAPITAL LLC, FOR BELMONT PLACE SECTION 8 CONTAINING FIVE COMMERCIAL OUT LOTS ON APPROXIMATELY 12.88 ACRES ZONED B-3 PMU (COMMUNITY BUSINESS DISTRICT WITH A PLANNED MIXED-USE OVERLAY DISTRICT) AND LOCATED ON GLENN PARKWAY AND PEACHBLOW ROAD.

The Clerk read the ordinance for the first time.

Motion: Vice-Mayor Shafer motioned to suspend the rules for Ordinance No. 20-32, seconded by Mr. Hoffman. Motion approved by a 7-0 vote.

Motion: Vice-Mayor Shafer motioned to adopt Ordinance No. 20-32, seconded by Mr. Hoffman. Motion approved by a 7-0 vote.

RECORD OF PROCEEDINGS

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Delaware City Council

Meeting

DEAR GRAPHICS 800-325-8004 FORM NO. 10149

Held June 8 20 20

ITEM 9: ORDINANCE NO. 20-33 [First Reading]
AN ORDINANCE APPROVING A REZONING AMENDMENT FOR THE DELAWARE COUNTY COMMISSIONERS FOR THE DELAWARE COUNTY FAIRGROUNDS FROM R-3 (ONE FAMILY RESIDENTIAL DISTRICT) AND B-3 (COMMUNITY BUSINESS DISTRICT) TO R-3 AND B-3 PMU (PLANNED MIXED-USE OVERLAY DISTRICT) ON APPROXIMATELY 101 ACRES AND LOCATED AT 236 PENNSYLVANIA AVENUE.

The Clerk read the ordinance for the first time. A public hearing and second reading has been established for June 22, 2020 at 7:30 p.m.

ITEM 10: ORDINANCE NO. 20-34 [First Reading]
AN ORDINANCE APPROVING A CONDITIONAL USE PERMIT FOR THE DELAWARE COUNTY COMMISSIONERS ALLOWING THE PLACEMENT OF A PLANNED MIXED-USE OVERLAY DISTRICT (PMU) ON THE DELAWARE COUNTY FAIRGROUNDS ON APPROXIMATELY 101 ACRES ZONED R-3 AND B-3 PMU AND LOCATED AT 236 PENNSYLVANIA AVENUE.

The Clerk read the ordinance for the first time. A public hearing and second reading has been established for June 22, 2020 at 7:30 p.m.

ITEM 11: ORDINANCE NO. 20-35 [First Reading]
AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN FOR THE DELAWARE COUNTY COMMISSIONERS FOR THE DELAWARE COUNTY FAIRGROUNDS ON PROPERTY ZONED R-3 AND B-3 PMU ON APPROXIMATELY 101 ACRES AND LOCATED AT 236 PENNSYLVANIA AVENUE.

The Clerk read the ordinance for the first time.

ITEM 12: ORDINANCE NO. 20-36 [First Reading]
AN ORDINANCE APPROVING TWO ALLEY VACATIONS FOR THE DELAWARE COUNTY COMMISSIONERS FOR THE DELAWARE COUNTY FAIRGROUNDS ON PROPERTY ZONED R-3 AND B-3 PMU ON APPROXIMATELY 101 ACRES AND LOCATED AT 236 PENNSYLVANIA AVENUE.

The Clerk read the ordinance for the first time. A public hearing and second reading had been established for June 22, 2020 at 7:30 p.m.

ITEM 13: ORDINANCE NO. 20-37 [First Reading]
AN ORDINANCE APPROVING A COMBINED PRELIMINARY AND FINAL DEVELOPMENT PLAN FOR SKILKEN GOLD REAL ESTATE DEVELOPMENT FOR SHEETZ LOCATED ON LOT 12722 OF COUGHLIN'S CROSSING (WITHIN SUB-AREA 6) ON APPROXIMATELY 1.88 ACRES LOCATED EAST OF US 23 JUST SOUTH OF PENNY WAY AND ZONED A-1 PMU.

The Clerk read the ordinance for the first time.

ITEM 14: ORDINANCE NO. 20-38 [First Reading]
AN ORDINANCE APPROVING A CONDITIONAL USE PERMIT FOR SKILKEN GOLD REAL ESTATE DEVELOPMENT FOR SHEETZ LOCATED ON LOT 12722 OF COUGHLIN'S CROSSING (WITHIN SUB-

RECORD OF PROCEEDINGS

Minutes of

Delaware City Council

Meeting

BEAR GRAPHICS 800-325-8094 FORM NO. 10148

Held June 8 20 20

AREA 6) ON APPROXIMATELY 1.88 ACRES LOCATED EAST OF US 23 JUST SOUTH OF PENNY WAY AND ZONED A-1 PMU.

The Clerk read the ordinance for the first time. A public hearing and second reading of Ordinance No. 20-38 was established for June 22, 2020 at 7:40 p.m.

ITEM 15: ORDINANCE NO. 20-39 [First Reading]
AN ORDINANCE DIRECTING THE CITY MANAGER TO ESTABLISH A REVOLVING LOAN FUND PROGRAM AND AUTHORIZING APPROPRIATIONS AND DECLARING AN EMERGENCY.

The Clerk read the ordinance for the first time.

Motion: Mr. Farrell motioned to suspend the rules for Ordinance No. 20-39, seconded by Vice-Mayor Shafer. Motion approved by a 7-0 vote.

Motion: Mr. Farrell motioned to enact the emergency clause for Ordinance No. 20-39, seconded by Vice-Mayor Shafer. Motion approved by a 7-0 vote.

Motion: Mr. Farrell motioned adopt Ordinance No. 20-39, seconded by Vice-Mayor Shafer. Motion approved by a 7-0 vote.

ITEM 16: FINANCE DIRECTOR'S REPORT

ITEM 17: CITY MANAGER'S REPORT & COVID-19 UPDATE

Mr. Homan discussed the reopening of playgrounds and that staff is working on communication that playgrounds will not be sanitized but will have signage to encourage social distancing and washing hands. The splash pad continues to be evaluated and staff works on a plan to try to open that up. Mr. Homan discussed legislation at the June 22 meeting authorizing Cares Act funding. He discussed looking to have council meetings resume back into chambers in July, but this may be interrupted later due to City Hall renovations. The DORA was recommended by staff to increase to start on Wednesday and Thursday. Council voiced no concerns over the DORA extension.

- A. John Donahue, Fire Chief
Chief Donahue provided an update on US 42 street repairs due to erosion.
- B. Bruce Pijanowski, Police Chief
Chief Pijanowski provided an update regarding the reaction that has occurred nationwide to the death of George Floyd and that the actions resulting in his death was denounced by law enforcements. He discussed the protest that occurred in the City of Delaware and that they were peaceful and well organized. He discussed the efforts led by different community leaders, including the Delaware Police Department, to connect with at risk populations. Chief Pijanowski will participate in a forum with other community leaders to talk about the concerns and issues and the commitment of the Delaware Police Department.

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Delaware City Council

Meeting

BEAR GRAPHICS 800-323-8094 FORM NO. 10148

Held June 8 20 20

ITEM 18: COUNCIL COMMENTS

Mr. Jones questioned when the Fair Board would decide if the Delaware County Fair would be canceled. Mayor Riggle clarified that this would be announced at their July meeting. He discussed his plans to work with Councilman Farrell to rename part of Pennsylvania Avenue.

Mrs. Keller recognized the police department for their work in the community and also recognized the community for their efforts to come together. Mrs. Keller requested clarification on the guidelines for reopening parks.

Mr. Hoffman praised Chief Pijanowski for his leadership during these difficult times.

Mr. Farrell discussed his desire to have Council formalize a venue to have continued discussion relating to racial issues and concerns. Council voiced their support to move forward on this discussion.

Vice-Mayor Shafer discussed his interaction with DORA participants in the downtown area and that he is happy with the extension and thinks it helps the downtown businesses. Mayor Riggle discussed having the DORA after COVID-19.

Mayor Riggle expressed her pride in the community and how they were working together and protesting peacefully.

ITEM 19: ADJOURNMENT

Motion: Vice-Mayor Shafer motioned to adjourn the meeting. The meeting adjourned at 8:05 p.m.

Mayor Carolyn Kay Riggle

Elaine McCloskey, Council Clerk

BOARD OF ZONING APPEALS
MOTION SUMMARY
November 13, 2019

ITEM 1. Roll Call

Vice-Chairman Junk called the meeting to order at 6:30 p.m.

Members Present: Beth Fisher, Adam Vaughn, Todd Daughenbaugh, Robert Whitmore, Councilman George Hellinger, and Vice-Chairman Paul Junk

Member Absent: Chairman Matt Dick

Staff Present: Jordan Selmek, Zoning Officer

Motion to Excuse: Councilman Hellinger motioned to excuse Chairman Dick, seconded by Ms. Fisher. Motion approved by a 6-0 vote.

ITEM 2. Approval of the Motion Summary of the Board of Zoning Appeals meeting held on September 11, 2019, as recorded and transcribed.

Motion: Councilman Hellinger moved to approve the Motion Summary for the Board of Zoning Appeals held on September 11, 2019 meeting, seconded by Mr. Vaughn. Motion approved by a 6-0.

Vice-Chairman Junk swore in the following participant from the public throughout the meeting:

Johnathon Dandera
102 Old Colony Drive
Delaware, Ohio

ITEM 3. REGULAR BUSINESS

A. 2019-2394: A request by Johnathon Dandera for approval of a front yard setback variance for a fence at 102 Old Colony Drive on approximately 0.201 acres on property zoned R-4 with Text Limitations (Medium Density Residential District).

Mr. Selmek reviewed the location of the request and the zoning around the area. The applicant proposes a six-foot privacy fence to enclose their backyard, which is a corner lot. The southern section of the fence encroaches approximately 3.6 feet into the technical front yard setback along Bowtown Road. Corner lots have two front yards and the Zoning Code does not allow a privacy fence within the front yard. The proposed fence would require the approval of a variance. Mr. Selmek also discussed that the property has neighborhood signage on the property and there is a public bike path that extends through the southern portion of the property. Staff determined that the public bike path and entry

features meet the criteria for special circumstances, as today's development standards these features would be built on Home Owner's Association property.

APPLICANT:

Johnathon Dandera
102 Old Colony Drive
Delaware, Ohio

Mr. Whitmore informed the Board that he visited the property and that he believes that the applicant has a valid issue with exposure to the street and bike path and recommends the privacy fence.

Mr. Dandera informed the Board that he did receive approval from the Home Owner's Association to have a 6 ft, white vinyl, privacy fence. Mr. Selmek reviewed the condition to have a gap at the bottom of the fence to allow for drainage.

Motion: Ms. Fisher moved to approve 2019-2394, along with all staff conditions, finding beyond a reasonable doubt that the decision factor necessary for approval of a variance according to Chapter 1128 of the Planning and Zoning Commission are met, with the staff conditions as noted, seconded by Mr. Daughenbaugh. Motion approved by a 6-0 vote.


ITEM 4. BOARD MEMBER COMMENTS AND DISCUSSION

Ms. Fisher requested an update regarding the status of the Flax Street building and if the building had meet requirements to not be condemned.

ITEM 5. NEXT REGULAR MEETING: December 11, 2019.

ITEM 6. ADJOURNMENT

Motion: Mr. Daughenbaugh moved to adjourn the Board of Zoning Appeals meeting, seconded by Mr. Vaughn. The Board of Zoning Appeals meeting adjourned at 6:44 p.m.



Matt Dick, Chairman



Elaine McCloskey, Clerk

**FINANCE COMMITTEE
MOTION SUMMARY
May 13, 2020**

ITEM 1. Roll Call

Chairman Hellinger called the Virtual Cisco Webex Finance Committee meeting to order at 2:35 p.m.

Members Present: Vice-Mayor Kent Shafer, Vice-Chairman Chris Jones and Chairman George Hellinger

Council Members Present: Mayor Carolyn Kay Riggle, Second Ward Lisa Keller, Fourth Ward Drew Farrell

Staff Present: Darren Shulman, City Attorney, Sean Hughes, Economic Development Director, Justin Nahvi, Finance Director, Rob Alger, City Accountant, Alycia Ballone, Budget Analyst, Kyle Kridler, Assistant City Manager, Tom Homan, City Manager

County Staff Present: Bob Lamb, Economic Development Director

ITEM 2. Approval of the Motion Summary for the meeting held April 15, 2020, as recorded and transcribed.

Motion: Vice-Mayor Shafer moved to approve the Motion Summary from April 15, 2020, as recorded and transcribed, seconded by Vice-Chairman Jones. Motion approved by a 3-0 vote.

ITEM 3. Public Comments

PUBLIC COMMENT:

Brett Latta

Via email

376 North Sandusky Street

Delaware, Ohio

Mr. Latta questioned if the transportation funding levy discussion had been tabled since COVID-19.

ITEM 4. Review of April Financial Report

Mr. Nahvi discussed the property taxes for General Fund Revenue which was slightly down due to State distributions of real estate reimbursements for the homestead exemption and owner occupancy that were not received yet through

April 2020. The County Auditor and Treasurer have requested that the property taxes due date for the second half be moved. The income tax collection was down 45% which was attributed to the due date shift from April to July. He discussed the rise in unemployment rate which began in March 2020. The projection will be updated monthly based on the County unemployment rate and will be modified after the filing deadline in July. He discussed plans to have a location set up at Mingo for filing income taxes but also encouraging residents to e-file.

The Fire/EMS Income Tax Fund has a decline in 18% from a year ago during the same period. It is estimated that a similar decline for the Fire/EMS Income Tax Fund would be 4.3% of the current revenue estimate for this line item. The Stormwater Fund are performing as expected. Customers are still paying their utility bills, but waiting for their income tax filing. The Water Fund saw an increase in meter charges. He reviewed the Year to Date Fund Report and Debt Schedule. Mr. Nahvi discussed that there have been currently six residents apply for the utility assistance program but will be sending out another insert in the May utility bill. Mr. Shulman discussed reaching out to residents that are not paying their bill to inform them of the program. Vice-Chairman Jones discussed how to help residents in multi housing or apartment complexes. Mr. Nahvi discussed the difficulty if there is a master meter and needing to work with the landlord to ensure that the credit is applied to the renter.

ITEM 5. Review of 2020 Budget Gauge

Mr. Nahvi discussed that at the June Finance meeting it will be discussed where parts in the budget reductions could be recommended to be made. He completed a payroll forecast and there have been a savings possibly related to decrease in overtime cost in police and fire since special events have ceased. Mr. Homan discussed that the current position for the City on the Budget Gauge is Budget Restraints. Mr. Nahvi discussed that the full impact of the COVID crisis will not be known until July after the income tax filing date. He discussed the recommendation to staff to restrain capital spending for 2021 and for roadway projects to not include in the CIP unless there is grant or state funding with it. Mr. Nahvi discussed the need to hold back on capital improvements, especially major paving projects and streets maintenance as there is an expected reduction in the Gas Tax Revenue. Mr. Homan discussed the current declines in Hotel Tax.

ITEM 6. Continued Discussion of Strategy for Addressing Financial Impact of COVID-19

Mr. Nahvi discussed the partial hiring freeze that has been implemented and expected to last to the next fiscal year. He discussed financial cuts that have been identified relating to fuel purchasing and the decline in fuel costs. He

discussed looking at options to a plan change for health insurance. He is looking at different scenarios to avoid layoffs but also to provide the necessary and required services to the community. Mr. Homan discussed the large cost of administrative leave which ends the week of May 18.

Vice-Mayor Shafer discussed the Revolving Loan Program that was brought up at the May 11 City Council Meeting. He discussed that Buckeye State Bank will be doing a maximum of \$25,000 and a minimum of \$10,000 for the loan. The interest rate will vary from 3% for a 36-month loan and 4% for a 60-month loan. The first six months will be interest only payments and the minimal credit score of 660. He discussed where the fund breakdown will be coming from. He discussed his recommended contribution to the program by the City. Mr. Lamb discussed that the bank was in agreement of going to a 660-credit score. Vice-Mayor Shafer discussed that if the city invested \$350,000 then only 14 loans would be needed from the City to have the money that we invest go back to the city business. Chairman Hellinger questioned when the return of money would occur back to the City. Mr. Lamb discussed that this would be a revolving loan program and there were no guarantees if or when those that invested would be repaid. Mr. Nahvi questioned if the City could invest the funds in a CD with the bank and fund the city portions to insure the money. Mr. Lamb discussed the difficulty of managing different plans with 7 or more partners.

Mr. Lamb discussed the partnership structure. He discussed submitted a letter to Jobs Ohio to ask them to match what the County has secured. The bank will review each application to determine if they meet the set guidelines and then will forward the application to a committee to oversee the program. He discussed who will be placed on the committee. Mr. Lamb discussed that applications received from the bank will be reviewed first from communities that have join the program. Mr. Hughes reached out to local businesses to determine their interest in the loan program and if they would consider applying. Mr. Lamb discussed that the idea has been around by the County for a couple of years and that the COVID-19 crisis pushed it to the forefront and that the County reached out to multiple banks on the program. Mrs. Keller questioned if the City could reestablish our own revolving loan fund. Mr. Hughes discussed that the current program with the City would not work as it is a CDBG federally funded program that is too restrictive and can take 6-9 months to complete the loan. Vice-Chairman Shafer discussed the process of emergency legislation and questioned how quickly the County needs this done. Mr. Lamb discussed that once a commitment is received by Jobs Ohio they will start accepting applications and that they will not be able to hold up applications for the City to complete their process. Mr. Shulman discussed his recommendation to not pass an ordinance during an emergency meeting to keep more transparent. Vice-Mayor Shafer and Vice-Chairman Jones discussed that the situation is unprecedented and that the goal is to get the money into the local business as quickly as possible and a decision will need to be made quickly. Mr. Farrell discussed concerns rushing the process. Mrs. Keller voiced a concern that the County has three seats on the

board and the City having a minority vote on the board. Mr. Homan discussed setting up a special meeting and a second reading at the first meeting of June. MR. Lamb discussed that he can provide a draft once approved by County but that he did not see that it would include a required percentage of money distributed to the local businesses and a guarantee of the City getting reimbursed. He does think that a discussion could include what is a Sunset law and a conversation of continuing the revolving loan fund. He discussed the benefit of the revolving loan fund to support future business needs. Vice-Chairman Shafer voiced his support to the program as the City does not have a program in place.

ITEM 7. Member Comments

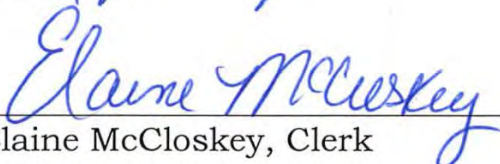
The Committee was in agreement to meet on June 17 for the next meeting.

ITEM 8. Adjournment

Motion: Chairman Hellinger moved to adjourn the Finance Committee meeting. The Finance Committee meeting adjourned at 4:08 p.m.



Chairman



Elaine McCloskey, Clerk

**RECORDS COMMISSION
MOTION SUMMARY
December 16, 2019**

ITEM 1. Roll Call

Chairman Homan called the meeting to order at 10:39 p.m.

Members Present: Michele Richards, Dean Stelzer, Finance Director and Tom Homan, City Manager

Members Absent: Darren Shulman, City Attorney

ITEM 2. Approval of the Motion Summary for the meeting held November 19, 2018, as recorded and transcribed.

Motion: Ms. Richards moved to approve the Motion Summary from November 19, 2018, seconded by Mr. Stelzer. Motion approved by a 3-0 vote.

ITEM 3. Review of Proposed Changes to the Current Schedules of Retention and Disposition for Police Department

Motion: Ms. Richards motioned to approve the retention schedule as submitted, seconded by Mr. Stelzer. Motion approved by a 3-0 vote.

ITEM 4. Review of Proposed Changes to the Current Schedules of Retention and Disposition for Oak Grove Cemetery

Motion: Ms. Richards motioned to approve the retention schedule as submitted, seconded by Mr. Stelzer. Motion approved by a 3-0 vote.

ITEM 5. Member Comments

ITEM 5. Next Meeting Date: To Be Established

It was discussed having a meeting towards the beginning of summer.

ITEM 8. Adjournment

Motion: Chairman Homan moved to adjourn the Records Commission meeting. The Records Commission meeting adjourned at 10:51 a.m.



Chairman

Elaine McCloskey
Elaine McCloskey, Clerk



FACT SHEET

AGENDA ITEM NO: CONSENT ITEM D DATE: 06/22/2020
ORDINANCE NO: RESOLUTION NO: 20-36
READING: FIRST PUBLIC HEARING: NO

TO: Mayor and Members of City Council
FROM: R. Thomas Homan, City Manager
VIA: Darren Shulman, City Attorney

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

A RESOLUTION EXTENDING BOARDS AND COMMISSION APPOINTMENTS SET TO EXPIRE ON JUNE 30, 2020 UNTIL DECEMBER 1, 2020.

BACKGROUND

Due to COVID-19 City Council was unable to conduct interviews with potential candidates and staff.

REASON WHY LEGISLATION IS NEEDED:

This resolution will extend terms set to expire to give the Mayor time to interview prospective candidates. Council will receive follow up legislation as appointments are made.

COMMITTEE RECOMMENDATION:

N/A

FISCAL IMPACT(S):

N/A

POLICY CHANGES:

N/A

PRESENTER(S):

Darren Shulman, City Attorney

RECOMMENDATION:

Approval

ATTACHMENT(S)

RESOLUTION NO. 20-36

A RESOLUTION EXTENDING BOARDS AND
COMMISSION APPOINTMENTS SET TO EXPIRE ON
JUNE 30, 2020 UNTIL DECEMBER 1, 2020.

WHEREAS, appointments to City boards, committees, and commissions are made by the Mayor, subject to confirmation by Council (see e.g. Charter Sections 101 and 102; Del. Codified Ordinance Sections 153.02 and 175.01); and

WHEREAS, due to COVID-19 emergency declaration, City Council was unable to interview potential candidates for board and commission term openings; and

WHEREAS, in order to allow Boards and Commission to continue to conduct City business, expiring terms must be extended until a replacement can be appointed.

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Delaware, State of Ohio that:

SECTION 1. The following appointments are extended until December 1, 2020 or until a replacement appointment is made, whichever comes first:

- a. Board of Zoning Appeals, Paul Junk (At Large)
- b. Board of Zoning Appeals, Beth Fisher (At Large)
- c. Airport Commission, Charlton Amidon (City)
- d. Airport Commission, Walt Gaub (City)
- e. Historic Preservation Commission, Mark Hatten (Property Owner)
- f. Historic Preservation Commission, Erinn Nicley (Preservationist)
- g. Parks and Recreation Advisory Board, Josh Bricker, (Second Ward)
- h. Parks and Recreation Advisory Board, Gary Hayward (At Large)
- i. Parks and Recreation Advisory Board, Mike Rush (At Large)
- j. Planning Commission, Jim Halter (Second Ward)
- k. Planning Commission, Andy Volenik (At Large)
- l. Shade Tree Commission, Stan Eddy
- m. Shade Tree Commission, Thomas Wolber
- n. Sister City Advisory Board, Julie Mean (Citizen Representative)
- o. Sister City Advisory Board, Rita Selle-Grider (Citizen Representative)

SECTION 2. to maintain the appointment schedule included in Resolution 17-65, replacement appointments will be for the unexpired terms remaining.

SECTION 3. This resolution shall be effective immediately upon its passage.

PASSED: _____, 2020

YEAS _____
ABSTAIN _____

NAYS _____

ATTEST: _____
CITY CLERK

MAYOR



FACT SHEET

AGENDA ITEM NO: 6

DATE: 06/22/2020

ORDINANCE NO: 20-33

RESOLUTION NO:

READING: SECOND

PUBLIC HEARING: YES
June 22, 2020 @ 7:30 p.m.

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE APPROVING A REZONING AMENDMENT FOR THE DELAWARE COUNTY COMMISSIONERS FOR THE DELAWARE COUNTY FAIRGROUNDS FROM R-3 (ONE-FAMILY RESIDENTIAL DISTRICT) AND B-3 (COMMUNITY BUSINESS DISTRICT) TO R-3 AND B-3 PMU (PLANNED MIXED-USE OVERLAY DISTRICT) ON APPROXIMATELY 101 ACRES AND LOCATED AT 236 PENNSYLVANIA AVENUE.

BACKGROUND:

See attached staff report.

REASON WHY LEGISLATION IS NEEDED:

To achieve compliance with Chapter 1130 Amendments of the Codified Ordinances.

COMMITTEE RECOMMENDATION:

Planning Commission recommended approval by a vote of 7-0 on June 3, 2020.

FISCAL IMPACT(S):

N/A

POLICY CHANGES:

N/A

PRESENTER(S):

David Efland, Planning and Community Development Director

RECOMMENDATION:

Staff recommends approval

ATTACHMENT(S)

See attached

ORDINANCE NO. 20-33

AN ORDINANCE APPROVING A REZONING AMENDMENT FOR THE DELAWARE COUNTY COMMISSIONERS FOR THE DELAWARE COUNTY FAIRGROUNDS FROM R-3 (ONE-FAMILY RESIDENTIAL DISTRICT) AND B-3 (COMMUNITY BUSINESS DISTRICT) TO R-3 AND B-3 PMU (PLANNED MIXED-USE OVERLAY DISTRICT) ON APPROXIMATELY 101 ACRES AND LOCATED AT 236 PENNSYLVANIA AVENUE.

WHEREAS, the Planning Commission at its meeting of June 3, 2020 recommended approval of a Rezoning Amendment for The Delaware County Commissioners for the Delaware County Fairgrounds from R-3 (One-Family Residential District) and B-3 (Community Business District) to R-3 and B-3 PMU (Planned Mixed Use Overlay District) on approximately 101 acres and located at 236 Pennsylvania Avenue (PC Case 2020-0400).

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Rezoning Amendment for The Delaware County Commissioners for the Delaware County Fairgrounds from R-3 (One-Family Residential District) and B-3 (Community Business District) to R-3 and B-3 PMU (Planned Mixed Use Overlay District) on approximately 101 acres and located at 236 Pennsylvania Avenue, is hereby confirmed, approved, and accepted with the following condition that:

1. Any new use(s) or any change of use(s) of any existing structure(s) or property shall require conformance to all provisions of the Development Text.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS___NAYS___
ABSTAIN ___

PASSED: _____, 2020

YEAS___NAYS___
ABSTAIN ___

ATTEST: _____
CITY CLERK

MAYOR



FACT SHEET

AGENDA ITEM NO: 7

DATE: 06/22/2020

ORDINANCE NO: 20-34

RESOLUTION NO:

READING: SECOND

PUBLIC HEARING: YES
June 22, 2020 @ 7:30 p.m.

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE APPROVING A CONDITIONAL USE PERMIT FOR THE DELAWARE COUNTY COMMISSIONERS ALLOWING THE PLACEMENT OF A PLANNED MIXED-USE OVERLAY DISTRICT (PMU) ON THE DELAWARE COUNTY FAIRGROUNDS ON APPROXIMATELY 101 ACRES ZONED R-3 AND B-3 PMU AND LOCATED AT 236 PENNSYLVANIA AVENUE.

BACKGROUND:

See attached staff report.

REASON WHY LEGISLATION IS NEEDED:

To achieve compliance with Section 1148 Conditional Use Regulations of the zoning code.

COMMITTEE RECOMMENDATION:

Planning Commission recommended approval by a vote of 7-0 on June 3, 2020.

FISCAL IMPACT(S):

N/A

POLICY CHANGES:

N/A

PRESENTER(S):

David Efland, Planning and Community Development Director

RECOMMENDATION:

Staff recommends approval

ATTACHMENT(S)

See attached

ORDINANCE NO. 20-34

AN ORDINANCE APPROVING A CONDITIONAL USE PERMIT FOR THE DELAWARE COUNTY COMMISSIONERS ALLOWING THE PLACEMENT OF A PLANNED MIXED-USE OVERLAY DISTRICT (PMU) ON THE DELAWARE COUNTY FAIRGROUNDS ON APPROXIMATELY 101 ACRES ZONED R-3 AND B-3 PMU AND LOCATED AT 236 PENNSYLVANIA AVENUE.

WHEREAS, the Planning Commission at its meeting of June 3, 2020 recommended approval of a Conditional Use Permit allowing the placement of a Planned Mixed-Use Overlay District (PMU) on the Delaware County Fairgrounds on approximately 101 acres zoned R-3 and B-3 PMU and located at 236 Pennsylvania Avenue (PC Case 2020-0401).

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Conditional Use Permit allowing the placement of a Planned Mixed-Use Overlay District (PMU) on the Delaware County Fairgrounds on approximately 101 acres zoned R-3 and B-3 PMU and located at 236 Pennsylvania Avenue, is hereby confirmed, approved, and accepted.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS___NAYS___
ABSTAIN ___

PASSED: _____, 2020

YEAS___NAYS___
ABSTAIN ___

ATTEST: _____
CITY CLERK

MAYOR



FACT SHEET

AGENDA ITEM NO: 8

DATE: 06/22/2020

ORDINANCE NO: 20-35

RESOLUTION NO:

READING: SECOND

PUBLIC HEARING: NO

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN FOR THE DELAWARE COUNTY COMMISSIONERS FOR THE DELAWARE COUNTY FAIRGROUNDS ON PROPERTY ZONED R-3 AND B-3 PMU ON APPROXIMATELY 101 ACRES AND LOCATED AT 236 PENNSYLVANIA AVENUE.

BACKGROUND:

See attached report

REASON WHY LEGISLATION IS NEEDED:

To achieve compliance with Section 1129.04 requirements of the zoning code.

COMMITTEE RECOMMENDATION:

Planning Commission approved this case 7-0 on June 3, 2020.

FISCAL IMPACT(S):

N/A

POLICY CHANGES:

N/A

PRESENTER(S):

David Efland, Planning and Community Development Director

RECOMMENDATION:

Staff recommends approval as submitted with the documented conditions.

ATTACHMENT(S)

See attached

ORDINANCE NO. 20-35

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN FOR THE DELAWARE COUNTY COMMISSIONERS FOR THE DELAWARE COUNTY FAIRGROUNDS ON PROPERTY ZONED R-3 AND B-3 PMU ON APPROXIMATELY 101 ACRES AND LOCATED AT 236 PENNSYLVANIA AVENUE.

WHEREAS, the Planning Commission at its meeting of June 3, 2020 recommended approval of a Preliminary Development Plan for The Delaware County Commissioners for the Delaware County Fairgrounds on property zoned R-3 and B-3 PMU on approximately 101 acres and located at 236 Pennsylvania Avenue (PC Case 2020-0402).

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Preliminary Development Plan for The Delaware County Commissioners for the Delaware County Fairgrounds on property zoned R-3 and B-3 PMU on approximately 101 acres and located at 236 Pennsylvania Avenue, is hereby confirmed, approved, and accepted with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. Any new or existing road(s) to be constructed and/or widened within the development shall comply with the development text. The engineering drawings for such improvements shall accompany the submittal of the Final Development Plans for the subject phase.
3. Any new or existing utilities to be constructed and/or extended within the development shall comply with the development text. The engineering drawings for such improvements shall accompany the submittal of the Final Development Plans for the subject phase.
4. Any new building shall achieve compliance with the design standards of the approved development text.
5. Any tree removal shall comply with Chapter 1168 Tree Preservation Regulations along with the approved development text.
6. Any landscape plans shall be reviewed and approved by the Shade Tree Commission.

7. Any lighting plans shall be reviewed and approved by the Chief Building Official.
8. Any signage shall achieve compliance with minimum zoning code requirements and the adopted Gateways and Corridor Plan.
9. The property owner shall dedicate a bike path easement to the City of Delaware running generally north and south across the planning area and in conformance with Ordinance 18-117 and in a location acceptable to the City and County Fair Board to allow it to connect bike paths and pedestrian paths in the area and/or as planned. The City and County Fair Board have discussed the requirement and general location for this path and determined that the west side of property separating the adjacent residential uses from the Fair Grounds uses is an appropriate general location. Some adjustment may be required in Sub Area 6 to account for existing trees, grade, and the planned connection point to the north. This pathway easement shall be dedicated to the city prior to permitting any future buildings or facilities and prior to granting of a final Certificate of Occupancy for the currently under construction structure known as the 4H Building as approved with Condition 7 in Ordinance 18-117 approving such structure.
10. In accordance with Ordinance 18-117 Condition 6, the Fair Grounds shall dedicate an easement and/or right-of-way for the construction of a sidewalk along Pennsylvania Avenue from Euclid Avenue west to the USA Reserve Training Center's east property line. This shall be dedicated at the same time as the bike path easement noted above. Any future new buildings or improvements in Sub Areas 1-4 or 7 that require Development Plan Review shall require the construction of said sidewalk by the property owner.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS___NAYS___
ABSTAIN ___

PASSED: _____, 2020

YEAS___NAYS___
ABSTAIN ___

ATTEST: _____
CITY CLERK

MAYOR



FACT SHEET

AGENDA ITEM NO: 9

DATE: 06/22/2020

ORDINANCE NO: 20-36

RESOLUTION NO:

READING: SECOND

PUBLIC HEARING: YES
June 22, 2020 @ 7:30 p.m.

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE APPROVING TWO ALLEY VACATIONS FOR THE DELAWARE COUNTY COMMISSIONERS FOR THE DELAWARE COUNTY FAIRGROUNDS ON PROPERTY ZONED R-3 AND B-3 PMU ON APPROXIMATELY 101 ACRES AND LOCATED AT 236 PENNSYLVANIA AVENUE.

BACKGROUND:

See attached report

REASON WHY LEGISLATION IS NEEDED:

To achieve compliance with Section 910 Street and Alley Vacation of the Codified Ordinances.

COMMITTEE RECOMMENDATION:

Planning Commission approved this case 7-0 on June 3, 2020.

FISCAL IMPACT(S):

N/A

POLICY CHANGES:

N/A

PRESENTER(S):

David Efland, Planning and Community Development Director

RECOMMENDATION:

Staff recommends approval as submitted with the documented conditions.

ATTACHMENT(S)

See attached

ORDINANCE NO. 20-36

AN ORDINANCE APPROVING TWO ALLEY VACATIONS FOR THE DELAWARE COUNTY COMMISSIONERS FOR THE DELAWARE COUNTY FAIRGROUNDS ON PROPERTY ZONED R-3 AND B-3 PMU ON APPROXIMATELY 101 ACRES AND LOCATED AT 236 PENNSYLVANIA AVENUE.

WHEREAS, the Planning Commission at its meeting of June 3, 2020 recommended approval of two alley vacations for The Delaware County Commissioners for the Delaware County Fairgrounds on property zoned R-3 and B-3 PMU on approximately 101 acres and located at 236 Pennsylvania Avenue (PC Case 2020-0403).

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the two alley vacations for The Delaware County Commissioners for the Delaware County Fairgrounds on property zoned R-3 and B-3 PMU on approximately 101 acres and located at 236 Pennsylvania Avenue, is hereby confirmed, approved, and accepted with the following condition that:

- 1. The owner shall record the alley vacation plats at the County Recorder's office prior to final occupancy permit of the 4-H Building.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS___NAYS___
ABSTAIN ___

PASSED: _____, 2020

YEAS___NAYS___
ABSTAIN ___

ATTEST: _____
CITY CLERK

MAYOR



PLANNING COMMISSION/STAFF REPORT

CASE NUMBER: 2020-0400-0403

REQUEST: Multiple Requests

PROJECT: Delaware County Fairgrounds

MEETING DATE: June 3, 2020

APPLICANT/OWNER

Delaware County Agricultural Society
236 Pennsylvania Avenue
Delaware, Ohio 43015

REQUEST

2020-0400: A request by the Delaware County Commissioners for approval of a Rezoning Amendment for the Delaware County Fairgrounds from R-3 (One-Family Residential District) and B-3 (Community Business District) to R-3 and B-3 PMU (Planned Mixed Use Overlay District) on approximately 101 acres and located at 236 Pennsylvania Avenue.

2020-0401: A request by the Delaware County Commissioners for approval of a Conditional Use Permit allowing the Placement of a Mixed-Use Planned Overlay District (PMU) on the Delaware County Fairgrounds on approximately 101 acres zoned R-3 and B-3 PMU and located at 236 Pennsylvania Avenue.

2020-0402: A request by the Delaware County Commissioners for approval of a Preliminary Development Plan for the Delaware County Fairgrounds on property zoned R-3 and B-3 PMU on approximately 101 acres and located at 236 Pennsylvania Avenue.

2020-0403: A request by the Delaware County Commissioners for approval of two alley vacations for the Delaware County Fairgrounds on property zoned R-3 and B-3 PMU on approximately 101 acres and located at 236 Pennsylvania Avenue.

PROPERTY LOCATION & DESCRIPTION

The County Fairground encompasses approximately 101 acres within the City (the remainder of the Fairgrounds is located in the County) and is essentially located north of the Pennsylvania Avenue, south the of Shelbourne Forest Subdivision, east of the Shelbourne Forest Subdivision and Hayes Colony Subdivision and west of US 23. The majority of the Fairgrounds is zoned R-3 (One-Family Residential District) while the northeastern portion of the fairgrounds is zoned B-3 (Community Commercial District). The properties to the north are zoned R-2 PUD and R-4 in the City and PCD (Planned Commercial and Office District) in the County, the properties to the south are zoned R-3 and R-4 in the City, the properties to the east in the County are zoned PCD (Planned Commercial District) and FR-1 (Farm Residential District) and the properties to the west are zoned R-3 in the City.

BACKGROUND/PROPOSAL

The Delaware County Commissioners (Delaware County Fair Board) are proposing a Rezoning to a PMU with a conceptual masterplan to provide a guide for future development of the Fairgrounds. The Fairgrounds has served the Delaware County and City of Delaware for many years as a year-round resource for many functions and uses. Beyond hosting the Delaware County Fair and the internationally recognized Little Brown Jug, the Fairgrounds serves the neighborhoods, City and County with its grounds and facilities which are used year-round.

The Development Plan and Text for the Delaware County Fairgrounds recognizes that this site, located in the City of Delaware and in Delaware County (Troy Township), has served and is intended to serve as the home of the County Fair for many years to come. All of the uses, functions, and areas that are associated with the 10-15 days of the preparation, fair-time and disassembling of the County Fair within the Fairgrounds areas will continue. The Development Plan and Text for the Delaware County Fairgrounds are planned to identify the uses, areas, and development standards of the Fairgrounds and facilities, beyond the week or two of the fair-times which will continue, but rather for the year-round functions and operations. The fairgrounds are divided into seven planning areas. Additionally, the current zoning of the Fair Grounds for their unique set of uses is not appropriate or conducive to the site. Thus, the Applicant is following through on a required change of zoning to better reflect the longer-term plan and existing as well as future unique fair Ground Uses. Also, the County is proposing to construct the approximate 24,000 square foot 4H building this year that was approved by City Council in 2018 which requires the subject alley vacations.

STAFF ANALYSIS

- **ZONING:** The current R-3 and B-3 zoning of the Fairgrounds does not permit the majority of the current and proposed uses and the Rezoning to a PMU with Development Text, Conditional Use Permit and Preliminary Development Plan would permit the current and future uses proposed. Currently the majority of land uses within the Fairgrounds are considered legal non-conforming uses. In addition, two alleys are being vacated just north of Pennsylvania Avenue to advance the construction of the 4-H building. The Planning Commission and City Council would have to approve the Rezoning to PMU, Conditional Use Permit, Preliminary Development Plan and Alley Vacation.
- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review for each subject phase prior to Final Development Plan approval.
- **ROADS AND ACCESS:** The access to the fairground will remain the same with access locations on Pennsylvania Avenue (multiple locations), North Liberty Street and US 23 North. Per the development text, the internal roadway network shall be paved or compacted aggregate with the appropriate top dressing. All turning radius and maneuvering geometrics of the paved drives shall meet the Fire Department requirements. The engineering drawings for such improvements shall accompany the submittal of the Final Development Plans for the subject planning area.
- **PEDESTRIAN PATHS:** All pedestrian walks shall be paved with asphalt, concrete or masonry units such as pavers, brick, etc. per the approved development text. Accessways primarily for livestock use may be constructed of stone, mulch, soil, wood chips, or other appropriate material that is safe with the use of agricultural livestock and equipment. In addition, the property owner shall dedicate a bike path easement to the City of Delaware running generally north and south across the planning area and in conformance with Ordinance 18-117 and in a location acceptable to the City and County Fair Board to allow it to connect bikepaths and pedestrian paths in the area and/or as planned. The City and County Fair Board have discussed the requirement and general location for this path and determined that the west side of property separating the adjacent residential uses from the Fairgrounds uses is an appropriate general location. Some adjustment may be required in Sub Area 6 to account for existing trees, grade, and the planned connection point to the north. This pathway easement shall be dedicated to the City prior to permitting any future buildings or facilities and prior to granting of a final Certificate of Occupancy for the currently under construction structure known as the 4H building as approved with Condition 7 in Ordinance 18-117 approving such structure. Also, in accordance with Ordinance 18-117 Condition 6, the Fairgrounds shall dedicate an easement and/or right-of-way for the construction of a sidewalk along Pennsylvania Avenue from Euclid Avenue west to the USA Reserve Training Center's east property line. This shall be dedicated at the same time as the bikepath easement noted above. Any future new buildings or improvements in Sub Areas 1-4 or 7 that require Development Plan Review shall require the construction of said sidewalk by the property owner.
- **UTILITIES:** Any new or existing utilities to be constructed and/or extended within the development shall comply with the City minimum requirements or as approved by the City Director of Utilities. The engineering drawings for such improvements shall accompany the submittal of the Final Development Plans for the subject phase.
- **SITE CONFIGURATION:** The Fairgrounds would be divided into seven planning areas with development standards which includes permitted uses, structures requirements and site requirements per the approved development text. The Planning Areas are as follows (see attached exhibit):

Planning Area One – Junior Fair/Agricultural Area – This area is located entirely in the City and generally located towards the southern and western portion of the Fairgrounds. This area represents the Junior Fair and agricultural use areas for the Delaware County Fair. This area is planned as a multi-use, year-round, agricultural use, display, recreation, business, and educational area for the community. As the center of the Junior Fair activities, this area offers a diversity of uses associated with Junior Fair, 4-H and FFA activities, farm animal boarding and displays, covered riding arenas, auctions and ceremonies, and shows and activities associated with 4-H functions. With the relatively broad range of existing buildings and spaces, the Junior

Fair/ Agricultural Area offers opportunities for an expanded range of community meetings and gatherings, small concerts, business meetings as well as community gatherings, including wedding and graduation receptions. Further, with additional and enlarged facilities, Planning Area One may accommodate and even broader range of uses and events. Planning Area One is planned as one of the most active, year-round use areas in the Fairgrounds. Finally, the newly planned Agriculture Center Building and Covered Riding Arena each serve as the architectural and development standard for this area.

Planning Area Two – Merchants/Coliseum Area – This area is located entirely in the City and is located near the southern and eastern side of the Fairgrounds. This area contains three of the older structures that featured commerce exhibits during the fair, the Coliseum, the Merchants Building, and the Arts and Crafts Building. Each of these buildings are actively used for fair displays and activities, as well as hosting various events over the remainder of the year. In addition to the continued display uses during the fair, future upgrades to these buildings will generate a broader range of business and community meeting uses in these facilities. Relative to the remainder of the fairgrounds, this area contains a substantial number of larger trees. Some additional open space in this Planning Area would provide some buffer and protection of these trees. This additional open space, with additional tree plantings would also provide an area of the fairgrounds for environmental displays as well as a shaded area for rest and relaxation.

Planning Area Three – Amusement Area – This area is located north of the Merchants/Coliseum Area (Planning Area Two) and only the southern portion of this area is located in the City (the northern portion is located in the County). The Amusement Area is generally an area without structures that primarily provides an open area for the location of amusement rides during fair week. This open area serves as a flexible area for other uses throughout the remainder of the year, having provided space for community events, commerce and retail events, and fitness competitions. The flexible open space offers tremendous opportunities for year-round use.

Planning Area Four – Campground/Open Space Area – This area is located north of the Junior Fair/Agricultural area (Planning Area One) and is entirely located within the City. The uses permitted include agricultural structures, campground facilities, outdoor riding arenas, agricultural and livestock displays, offices, and accessory uses supporting these agricultural, fair, and special event uses.

Planning Area Five – The Track and Grandstand Area – This area is located north of Amusement Area (Planning Area Three) and is almost entirely located in the County except for a small portion of the northeast area and extreme northern and western portion of this area which are located in the City. The Track and Grandstand Area includes the Grandstand and Track area, the horse barns, the Log Cabin, the Jug Barn, the Juliette Barn, associated uses and maintenance areas, the horse training areas, and the internal drives connecting these facilities. While this area is recognized as the home of the Little Brown Jug, the Equestrian Area is, year-round, the most actively used area of the fairgrounds, providing year-round horse boarding and training facilities.

Planning Area Six – Motorplex Area – This area is located north of the Track and Grandstand Area (Planning Area Five) and is entirely located in the City. The permitted uses and activities includes buildings and uses generally associated with the motor sports featured at the fairgrounds, grandstands, warehouses and maintenance facilities, camping facilities, offices, and accessory uses supporting these agricultural, fair, and special event uses.

Planning Area Seven -Parking Areas – There are three parking areas located within the Fairgrounds with two parking areas entirely located in the City along the Pennsylvania Avenue on the eastern and western perimeter of the fairgrounds. A third parking area is located east of the Track and Grandstand Area (Planning Area Five) and is almost entirely located in the County except for the northern portion of the area. Along with parking other permitted uses include agricultural display uses, community events, athletic events, uses and structures

associated with parking facilities, flea markets and other community retail events, entertainment uses and accessory uses supporting these agricultural, fair, and special event uses.

Any proposed buildings or major site plan changes require Final Development Plan approval by the Planning Commission and City Council. The Preliminary Plan submitted with this zoning text, once approved, shall be the official Preliminary Plan for the Fair Grounds and may need to be amended from time to time to account for unanticipated major changes.

- **PARKING:** The Fairgrounds has operated for many years with two very large parking areas, one to the west and one to the east, each generally containing paved drives aisles and lawn parking areas. With both areas having served as parking areas for numerous years, each works throughout the year with minimal disruptions due to weather conditions. In addition to these two areas, extensive parking exists between existing facilities. With the quantity of parking spaces of these two large parking areas and the parking between facilities, additional parking around new and current facilities is only necessary for convenience and to accommodate those who are in need of assistance. Under this condition, new parking areas are only required to meet ADA requirements and to meet parking accommodations for those visitors with special needs.
- **TREE REMOVAL & REPLACEMENT:** Any tree removal and replacement as result of the proposed development shall meet all requirements of Chapter 1168 along with the following replacement and preservation schedule as approved in the development text: 1. Trees in poor condition shall not be replaced (dead, damaged or diseased); 2. Trees in fair condition shall be replaced at 50%; 3. Trees in good condition shall be replaced at 100%; 4. Ash trees, dead, damaged and diseased trees per the City Arborist shall not be counted toward replanting requirements. The County shall provide the location and size of qualified trees (6 caliper inches or larger) preserved, removed and replaced for each Final Development Plan. The applicant shall submit and the City shall review and approve an excel spreadsheet tabulating the current and future tree replacement counts to ensure an accurate running total for now and in the future.
- **LANDSCAPING & SCREENING:** Per the development text, new structures fronting along and within one-hundred feet (100') of public road rights-of-way shall meet City Zoning Ordinance Landscape Standards. Also, service areas visible from public roads of all facilities in Planning Area One shall be screened from view from the public road. In addition, the Fair Board is committed to adding trees to the landscape of the Fairgrounds. Trees will be planted in sitting areas around new and existing buildings. Internal drives in the fairgrounds area, shall be lined with street trees (2" caliper minimum), except where the drives are lined with vehicular areas, such as parking areas, access areas, maintenance areas, agricultural staging areas, etc. Landscaping in areas around the fairgrounds should not obstruct fair operations or functions of existing and new structures, but rather, shall enhance user areas within the grounds. The subject landscape plans would need to be submitted during the Final Development Plan approval process and shall be approved by the Shade Tree Commission.
- **LIGHTING:** The Preliminary Development Plan does not identify any additional lighting but any proposed lighting in the subsequent Final Development Plans shall achieve compliance with the development text and zoning code and be approved by the Chief Building Official.
- **SIGNAGE:** The Preliminary Development Plan does not identify any ground signage. However, any ground signage and shall achieve compliance with the zoning code and the approved Gateways and Corridors Plan.
- **BUILDING DESIGN:** The intent of this regulation is for new structures and renovations and additions to existing structures to be consistent in materials, colors and roof structures of the approved development text for each planning area. To create a cohesive and unified design throughout the entire development, each building shall be consistent in overall design, color, material, and architectural pattern of the development text for each planning area as determined through the Final Development Plan review process.
- **ALLEY VACATION:** The owner is proposing to vacate three alley rights-of-way to achieve compliance with the building and zoning code in the construction of the 4H Building that was approved by City Council in December 2018. The two north/south alley rights-of-way are located on the eastern portion of Planning Area 7 fronting Pennsylvania Avenue. The third alley right-of-way is an east/west oriented right-of-way spanning Planning Areas 1 and 7 located just north of Pennsylvania Avenue. The County owns the land adjacent to the subject rights-of-way being vacated and would not have a negative impact on the adjacent owners. Also, there are not any public utilities and/or easements in the subject right-of-way from a City perspective. The vacation

of the alleys would allow the County to consolidate the parcels while relinquishing the City of alley right-of-way not being utilized.

- **CONDITIONAL USE PERMIT:** The proposed uses shall achieve compliance with the Conditional Use Permit requirements per the zoning code and of the approved development text.

STAFF RECOMMENDATION (2020-0400 – REZONING AMENDMENT)

Staff recommends approval of a request by Delaware County Commissioners for a Rezoning Amendment for the Delaware County Fairgrounds from R-3 (One-Family Residential District) and B-3 (Community Business District) to R-3 and B-3 PMU on approximately 101 acres and located at 236 Pennsylvania Avenue, with the following condition that:

1. Any new use(s) or any change of use(s) of any existing structure(s) or property shall require conformance to all provisions of the Development Text.

STAFF RECOMMENDATION (2020-0401 – CONDITIONAL USE PERMIT)

Staff recommends approval of a request by the Delaware County Commissioners for a Conditional Use Permit allowing the Placement of a Mixed-Use Planned Overlay District (PMU) on the Delaware County Fairgrounds on approximately 101 acres zoned R-3 and B-3 PMU and located at 236 Pennsylvania Avenue.

STAFF RECOMMENDATION (2020-0402 – PRELIMINARY DEVELOPMENT PLAN)

Staff recommends approval of a request by Delaware County Commissioners for a Preliminary Development Plan for the Delaware County Fairgrounds on property zoned R-3 and B-3 PMU on approximately 101 acres and located at 236 Pennsylvania Avenue, with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. Any new or existing road(s) to be constructed and/or widened within the development shall comply with the development text. The engineering drawings for such improvements shall accompany the submittal of the Final Development Plans for the subject phase.
3. Any new or existing utilities to be constructed and/or extended within the development shall comply with the development text. The engineering drawings for such improvements shall accompany the submittal of the Final Development Plans for the subject phase.
4. Any new building shall achieve compliance with the design standards of the approved development text.
5. Any tree removal shall comply with Chapter 1168 Tree Preservation Regulations along with the approved development text.
6. Any landscape plans shall be reviewed and approved by the Shade Tree Commission.
7. Any lighting plans shall be reviewed and approved by the Chief Building Official.
8. Any signage shall achieve compliance with minimum zoning code requirements and the adopted Gateways and Corridor Plan.
9. The property owner shall dedicate a bike path easement to the City of Delaware running generally north and south across the planning area and in conformance with Ordinance 18-117 and in a location acceptable to the City and County Fair Board to allow it to connect bike paths and pedestrian paths in the area and/or as planned. The City and County Fair Board have discussed the requirement and general location for this path and determined that the west side of property separating the adjacent residential uses from the Fair Grounds uses is an appropriate general location. Some adjustment may be required in Sub Area 6 to account for existing trees, grade, and the planned connection point to the north. This pathway easement shall be dedicated to the city prior to permitting any future buildings or facilities and prior to granting of a final Certificate of Occupancy for the currently under construction structure known as the 4H Building as approved with Condition 7 in Ordinance 18-117 approving such structure.

- 10. In accordance with Ordinance 18-117 Condition 6, the Fair Grounds shall dedicate an easement and/or right-of-way for the construction of a sidewalk along Pennsylvania Avenue from Euclid Avenue west to the USA Reserve Training Center’s east property line. This shall be dedicated at the same time as the bike path easement noted above. Any future new buildings or improvements in Sub Areas 1-4 or 7 that require Development Plan Review shall require the construction of said sidewalk by the property owner.

STAFF RECOMMENDATION (2020-0403– ALLEY VACATION)

Staff recommends approval of a request by Delaware County Commissioners for approval of two alley vacations for the Delaware County Fairgrounds on property zoned R-3 and B-3 PMU on approximately 101 acres and located at 236 Pennsylvania Avenue, with the following condition that:

- 1. The owner shall record the alley vacation plats at the County Recorder’s office prior to final occupancy permit of the 4-H Building.

COMMISSION NOTES:

MOTION: _____ *1st* _____ *2nd* *approved* *denied* *tabled* _____

CONDITIONS/MISCELLANEOUS:

FILE:
ORIGINAL: 5/27/20
REVISED:

PLANNED MIXED USE DEVELOPMENT TEXT
DELAWARE COUNTY FAIRGROUNDS
DELAWARE, OHIO

1. DESCRIPTION OF DEVELOPMENT

The Delaware County Fairgrounds has served the Delaware County and City of Delaware for many years as a year-round resource for many functions and uses. Beyond hosting the Delaware County Fair and the internationally recognized Little Brown Jug, the Fairgrounds serves the City, neighborhoods and County with its grounds and facilities. The grounds are used year-round.

The Development Plan and Text for the Delaware County Fairgrounds recognizes that this site, located in the City of Delaware and Delaware County (Troy Township), has served and is intended to serve as the home of the County Fair for many years to come. All of the uses, functions, and areas that are associated with the 10-15 days of the preparation, fair-time and disassembling of the County Fair within the Fairgrounds areas will continue.

The Development Plan and Text for the Delaware County Fairgrounds are planned to identify the uses, areas, and development standards of the Fairgrounds and facilities, beyond the week or two of the fair-times which will continue, but rather for the year-round functions and operations.

2. GENERAL DEVELOPMENT STANDARDS

A. Purpose and Intent. It is the intent of the Applicant to provide a planned development with high quality site improvements, architectural design, signage and amenities that are commensurate with the County Fair Grounds unique mix of uses now and in the future. This Development Text represents the zoning requirements for this development as agreed upon between the Applicant and the City. Portions of the planning area which are not currently within the city of Delaware are not subject to this zoning. However, should any of those areas be annexed in the future, they shall upon annexation be zoned in accordance with this text and plan upon request of the property owner.

B. Conformance with Codified Ordinances and City Policy. Unless noted otherwise within this development text, all development will be constructed and provided in conformance with the then current Codified Ordinances and City Policy in effect at the time of application.

C. Limitations. Nothing in this text shall prohibit additional restrictions or requirements from being placed on the approval of any Final Development Plan.

D. Major Modifications. Once a Final Development Plan has been approved by City Council, any subsequent major modification to that plan shall only be permitted by resubmission and approval of a revised Final Development Plan through the procedures set forth in the Zoning Code. Major modification for the purposes of this text shall mean any modification of the approved Final Development Plan, as determined by the Director of Planning & Community Development, that results in:

- (1) Any major change in the use or occupancy other than those uses specifically listed in this text.
- (2) Major change in the approved location of land uses and/or buildings and building sizes of more than 10%.
- (3) Substantial alteration of the basic geometry of the street layout and/or operation characteristics of any element of the approved access points and systems of pedestrian paths that result in a change in operating characteristics or character.

E. Minor Modifications. Once a Final Development Plan has been approved by City Council, any subsequent minor modification to that plan shall only be permitted by resubmission and approval by the Director of Planning and Community Development of a revised Final Development Plan. Minor modification for the purposes of this text shall mean any modification of the approved Final Development Plan, as determined by the Director of Planning & Community Development, that results in:

- (1) Any modification that is not considered a major modification by this Zoning Text or by determination of the Director of Planning & Community Development.
- (2) Any minor change to the use or occupancy of the structures onsite other than those uses specifically allowed in this text or any minor changes to the approved site layout.
- (3) Minor alteration of the basic geometry of the street layout and/or operation characteristics of any element of the approved access points and systems of pedestrian paths that result in a change in operating characteristics or character.
- (4) Minor structural alterations that do not alter the overall design intent of the building.

F. Preliminary & Final Development Plan

- (1) Any proposed buildings or major site plan changes require Final Development Plan approval by the Planning Commission and City Council. The Preliminary Plan submitted with this zoning text, once approved, shall be the official Preliminary

Plan for the Fair Grounds and may need to be amended from time to time to account for unanticipated major changes.

G. Tree Removal and Replacement. Tree removal and replacement shall meet all requirements of Chapter 1168 along with the following replacement schedule:

- (1) Trees in poor condition shall not be replaced (dead, damaged or diseased).
- (2) Trees in fair condition shall be replaced at 50%.
- (3) Trees in good condition shall be replaced at 100%
- (4) Ash trees shall not be replaced and must be removed from the site.
- (5) Other tree species considered by the City Arborist to be a species of poor quality will be considered as such with a 0% replacement value.
- (6) The schedule above shall be applied to the proposed Final Development Plan and tree survey for preservation and removal of trees. This shall be done prior to or concurrent with each Final Development Plan submission. Trees proposed to be permanently preserved shall be given credit based upon their caliper inches per the tree survey and the schedule above calculated against the total caliper inches proposed to be removed (again in accordance with the schedule above and the tree survey). If there remains a balance of caliper inches due, the applicant shall replant these on site and in addition to any required or proposed trees, or make a payment in lieu of replanting these at \$100 per caliper inch, or any such combination that achieves a zero-balance due.

H. Fencing: Security fencing shall be allowed around the planning area and individual facilities.

I. Noise, Odor, Lighting: The Fair Grounds unique uses require that noises, lighting, and odors consistent with its use are permitted. The property owner shall attempt to minimize impacts from these elements upon adjacent residential uses to the extent practical.

J. Cell towers and small cells: These shall be permitted uses and shall adhere to then current regulations, guidelines, and requirements of the city of Delaware.

K. Sexually Oriented Businesses and Uses: These uses are prohibited anywhere within the planning area.

L. Bikepath Easement: The property owner shall dedicate a bike path easement to the City of Delaware running generally north and south across the planning area and in conformance with Ordinance 18-117 and in a location acceptable to the City and County Fair Board to allow it to connect bikepaths and pedestrian paths in the area and/or as planned. The City and County Fair Board have discussed the requirement and general location for this path and determined that the west side of property separating the adjacent residential uses from the Fairgrounds uses is an appropriate general location. Some adjustment may be required in Sub Area 6 to account for existing trees, grade, and the planned connection point to the north. This pathway easement shall be dedicated to the City prior to permitting any future buildings or facilities and prior to granting of a

final Certificate of Occupancy for the currently under construction structure known as the 4H Building as approved with Condition 7 in Ordinance 18-117 approving such structure.

M. Pennsylvania Ave. Sidewalk: In accordance with Ordinance 18-117 Condition 6, the Fairgrounds shall dedicate an easement and/or right-of-way for the construction of a sidewalk along Pennsylvania Avenue from Euclid Avenue west to the USA Reserve Training Center's east property line. This shall be dedicated at the same time as the bikepath easement noted above. Any future new buildings or improvements in Sub Areas 1-4 or 7 that require Development Plan Review shall require the construction of said sidewalk by the property owner.

1) Planning Area One – Junior Fair/ Agricultural Area

Planning Area One, which represents the Junior Fair and agricultural use areas for the Delaware County Fair, is generally located towards the southern and western portion of the Fairgrounds and is entirely located in the City. This area is planned as a multi-use, year-round, agricultural use, display, recreation, business, and educational area for the community.

As the center of the Junior Fair activities, this area offers a diversity of uses associated with Junior Fair, 4-H and FFA activities, farm animal boarding and displays, covered riding arenas, auctions and ceremonies, and shows and activities associated with 4-H functions. With the relatively broad range of existing buildings and spaces, the Junior Fair/ Agricultural Area offers opportunities for an expanded range of community meetings and gatherings, small concerts, business meetings as well as community gatherings, including wedding and graduation receptions. Further, with additional and enlarged facilities, Planning Area One may accommodate an even broader range of uses and events. Planning Area One is planned as one of the most active, year-round use areas in the Fairgrounds. The newly planned Agriculture Center Building and Covered Riding Arena each serve as the architectural and development standard for this area.

- a) Permitted Uses: Agricultural business, displays, shows, education and recreation uses and structures, buildings and uses generally associated with the Junior Fair, livestock structures, riding arenas (indoor and outdoor), agricultural and livestock displays, auction facilities, offices, and accessory uses supporting these agricultural, fair, and special event uses. Community gatherings, indoor recreational uses, and facility event rental (such as for weddings, parties, and other events) are permitted.
- b) Structures
 - i) Setback along Public Rights-of-Way: 50'
 - ii) Structure First Floor Area
 - (1) Maximum first floor area: 100,000 s.f.
 - iii) Structure Height
 - (1) Maximum height: 80' as averaged at the four outermost corners of the structure.
On a flat roof, height shall be measured from the center of the roof to the adjacent

average finished grade. On a pitched roof, height shall be measured from the peak of the roof to the adjacent average finished grade. Accessory structures such as parapets, stair towers, elevator shafts, spires, flags, cupolas, etc. are not limited to the maximum height restrictions.

iv) Materials:

- (1) Exterior Wall Materials: Metal, wood, masonry materials (brick, concrete, stone, etc.), wood-like siding (ex., Hardy materials, Smart Siding, or other manufacturers of similar composite materials).
- (2) Roof Materials: Metal, rubber composite and/or other industry standard materials for flat roofs, asphalt shingles.
 - (a) Solar panels are permitted on the roof of structures.

v) Exterior Colors

- (1) Structure Wall Colors: White, silver, gray, or earth tones. Trim colors shall be similarly neutral and complimentary to wall colors.
- (2) Structure Roof Colors: Metals roofs may include the following colors, red, silver, gray, green, white, or blue. Asphalt shingle colors may include earth tones, black, green, or gray. Flat roof colors may include black, gray, or white.

c) SITE

i) Site Engineering:

(1) Infrastructure/ Utilities:

- (a) Sanitary: Sanitary structures, materials, and design shall comply with City of Delaware Engineering Standards and Specifications.
 - (b) Stormwater: Storm structures shall comply with City of Delaware Engineering Standards and Specifications. Storm water retention and detention facilities shall comply with City of Delaware Engineering Standards and Specifications.
 - (c) Water: Water system structures, materials, and design shall comply with City of Delaware Engineering Standards and Specifications.
 - (d) Electric: All electric service lines within 50' of public rights-of-way shall be installed underground. Existing overhead electric lines may remain above grade.
 - (e) Telecommunications: All telecommunications lines within 50' of public rights-of-way shall be installed underground. Existing overhead telecommunication lines may remain above grade.
 - (f) Other utilities: All other utility lines within 50' of public rights-of-way shall be installed underground. Other existing overhead lines may remain above grade.
- (2) Internal Drives: All drives throughout the fairgrounds site shall be paved or compacted aggregate with the appropriate top dressing. All turning radius and maneuvering geometrics of the paved drives shall meet the approval of the Chief of the City of Delaware Fire Department.
 - (3) Walks/ Non-vehicular paths: All pedestrian walks shall be paved with asphalt, concrete, or masonry-units, such as pavers, brick, etc. Accessways primarily for livestock use may be constructed of stone, mulch, soil, wood chips, or other

appropriate material that is safe with the use of agricultural livestock and equipment.

- (4) Lighting: The primary purposes of lighting on the fairgrounds is for year-round security and building identification lighting. Further, with the agricultural uses generally associated with Planning Area One, minimal lighting is necessary for this area. Lighting may be brought in for short-term use for operations and management use during fair times or other special events. These would be special events only. All future lighting shall be LED light fixtures, with a range of 2,800 to 3,200 K.

- ii) Parking: The Fairgrounds has operated for many years with two very large parking areas, one to the west and one to the east, each generally containing paved drives, aisles and lawn parking areas. With both areas having served as parking areas for numerous years, each works throughout the year with minimal disruptions due to weather conditions. In addition to these two areas, extensive parking exists between existing facilities. With the quantity of parking spaces of these two large parking areas and the parking between facilities, additional parking around new and current facilities is only necessary for convenience and to accommodate those who are in need of assistance. Under this condition, new parking areas are only required to meet ADA requirements and to meet parking accommodations for those visitors with special needs.

- iii) Landscaping: New structures fronting along and within one-hundred feet (100') of public road rights-of-way shall meet City Zoning Ordinance Landscape Standards. The Fair Board is committed to adding trees to the landscape of the fairgrounds. Trees will be planted in sitting areas around new and existing buildings. Internal drives in the fairgrounds area, shall be lined with street trees (2" caliper minimum), except where the drives are lined with vehicular areas, such as parking areas, access areas, maintenance areas, agricultural staging areas, etc. Landscaping in areas around the fairgrounds should not obstruct fair operations or functions of existing and new structures, but rather, shall enhance user areas within the grounds.

- iv) Site Furnishings: Site furnishings include benches, trash receptacles, information kiosks, etc. Site furnishings are considered for short-term, special events. Permanent site furnishings will only be used around year-round use facilities, such as the Fair Office area and the Log Cabin area.

2) Planning Area Two – Merchants/ Coliseum Area

Located near the southern and eastern side of the Fairgrounds and located entirely in the City, this area contains three of the older structures that featured commerce exhibits during the fair, the Coliseum, the Merchants Building, and the Arts and Crafts Building. Each of these buildings are actively used for fair displays and activities, as well as hosting various events over the remainder of the year.

In addition to the continued display uses during the fair, future upgrades to these buildings will generate a broader range of business and community meeting uses in these facilities.

Relative to the remainder of the fairgrounds, this area contains a substantial number of larger trees. Some additional open space in this Planning Area would provide some buffer and protection of these trees. This additional open space, with additional tree plantings would also provide an area of the fairgrounds for environmental displays as well as a shaded area for rest and relaxation.

a) Permitted Uses: Fairground structures and uses, buildings and uses generally featuring the display of local commerce, local government, parks and environmental displays, local arts and crafts, etc. This area also contains the current fairgrounds offices. Permitted uses also include commercial and retail uses that are featured in events through the times outside of fair week.

b) Structures

i) Setback along Public Rights-of-Way: 50'

ii) Structure First Floor Area

1) Maximum first floor area: 40,000 s.f.

iii) Structure Height

(1) Maximum height: 50' as averaged at the four outermost corners of the structure.

On a flat roof, height shall be measured from the center of the roof to the adjacent average finished grade. On a pitched roof, height shall be measured from the peak of the roof to the adjacent average finished grade. Accessory structures such as parapets, stair towers, elevator shafts, spires, flags, cupolas, etc. are not limited to the maximum height restrictions.

(2) Material:

(a) Exterior Wall Materials: Metal, wood, masonry materials (brick, concrete, stone, etc.), wood-like siding (ex., Hardy materials, Smart Siding, or other manufacturers on similar composite materials).

(b) Roof Materials: Metal, rubber composite and/or other industry standard materials for flat roofs, asphalt shingles.

(c) Solar panels are permitted on roofs

(3) Exterior Colors

(a) Structure Wall Colors: White, silver, gray, or earth tones. Trim colors shall be similarly neutral and complimentary to wall colors..

(b) Structure Roof Colors: Metals roofs may include the following colors, red, silver, gray, green, white, or blue. Asphalt shingle colors may include earth tones, black, green, or gray. Flat roof colors may include black, gray, or white.

iv) Site Engineering:

(1) Infrastructure/ Utilities:

(a) Sanitary: Sanitary structures, materials, and design shall comply with City of Delaware Engineering Standards and Specifications.

(b) Stormwater: Storm structures shall comply with City of Delaware Engineering Standards and Specifications. Storm water retention and

- detention facilities shall comply with City of Delaware Engineering Standards and Specifications.
- (c) Water: Water system structures, materials, and design shall comply with City of Delaware Engineering Standards and Specifications.
 - (d) Electric: All electric service lines within 50' of public rights-of-way shall be installed underground. Existing overhead electric lines may remain above grade.
 - (e) Telecommunications: All telecommunications lines within 50' of public rights-of-way shall be installed underground. Existing overhead telecommunication lines may remain above grade.
 - (f) Other utilities: All other utility lines within 50' of public rights-of-way shall be installed underground. Other existing overhead lines may remain above grade.
- (2) Internal Drives: All drives throughout the fairgrounds site shall be paved or compacted aggregate with the appropriate top dressing. All turning radius and maneuvering geometrics of the paved drives shall meet the approval of the Chief of the City of Delaware Fire Department.
 - (3) Walks/ Non-vehicular paths: All pedestrian walks shall be paved with asphalt, concrete, or masonry-units, such as pavers, brick, etc. Accessways primarily for livestock use may be constructed of stone, mulch, soil, wood chips, or other appropriate material that is safe with the use of agricultural livestock and equipment.
 - (4) Lighting: The primary purposes of lighting on the fairgrounds is for year-round security and building identification lighting. Further, with the agricultural uses generally associated with Planning Area One, minimal lighting is necessary for this area. Lighting may be brought in for short-term use for operations and management use during fair times or other special events. These would be special events only. All future lighting shall be LED light fixtures, with a range of 2,800 to 3,200 K.
- v) Parking: The Fairgrounds has operated for many years with two very large parking areas, one to the west and one to the east, each generally containing paved drives, aisles and lawn parking areas. With both areas having served as parking areas for numerous years, each works throughout the year with minimal disruptions due to weather conditions. In addition to these two areas, extensive parking exists between existing facilities. With the quantity of parking spaces of these two large parking areas and the parking between facilities, additional parking around new and current facilities is only necessary for convenience and to accommodate those who are in need of assistance. Under this condition, new parking areas are only required to meet ADA requirements and to meet parking accommodations for those visitors with special needs.
 - vi) Landscaping: New structures fronting along and within one-hundred feet (100') of public road rights-of-way shall meet City Zoning Ordinance Landscape Standards.

Service areas visible from public roads of all facilities in Planning Area One shall be screened from view from the public road.

The Fair Board is committed to adding trees to the landscape of the fairgrounds. Trees will be planted in sitting areas around new and existing buildings. Internal drives in the fairgrounds area, shall be lined with street trees (2" caliper minimum), except where the drives are lined with vehicular areas, such as parking areas, access areas, maintenance areas, agricultural staging areas, etc.

Landscaping in areas around the fairgrounds should not obstruct fair operations or functions of existing and new structures, but rather, shall enhance user areas within the grounds.

- vii) Site Furnishings: Site furnishings include benches, trash receptacles, information kiosks, etc. Site furnishings are considered for short-term, special events. Permanent site furnishings will only be used around year-round use facilities, such as the Fair Office area and the Log Cabin area.

3) **Planning Area Three – Amusement Area**

This area is located south of the Track and Grandstand Area and north of the Merchants/Coliseum Area with only the southern portion located in the City (the northern portion is located in the County). The Amusement Area is generally an area without structures that primarily provides an open area for the location of amusement rides during fair week. This open area serves as a flexible area for other uses throughout the remainder of the year and provides space for community events, commerce and retail events and fitness competitions. The flexible open space offers tremendous opportunities for year-round use.

- a) Permitted Uses: Amusement rides, carnival uses including games of chance, concessions, sales of materials, and food sales. Accessory uses include, during fair times, temporary camping uses, and support uses for agricultural, display, fair, and special event uses. During fair times, as well as time outside of fair week, permitted uses also include community events, athletic competitions and displays, retail sales and general support facilities for the other Planning Area uses of the fairground.
- b) Structures
 - i) Setback along Public Rights-of-Way: 50'
 - ii) Structure First Floor Area
 - (1) Maximum first floor area: 50,000 s.f.
 - iii) Structure Height
 - i) Maximum height: 50' as averaged at the four outermost corners of the structure. On a flat roof, height shall be measured from the center of the roof to the adjacent average finished grade. On a pitched roof, height shall be measured from the peak of the roof to the adjacent average finished grade. Accessory structures such as parapets, stair towers, elevator shafts, spires, flags, cupolas, etc. are not limited to the maximum height restrictions.

- ii) Materials:
 - iii) Exterior Wall Materials: Metal, wood, masonry materials (brick, concrete, stone, etc.), wood-like siding (ex., Hardy materials, Smart Siding, or other manufacturers on similar composite materials).
 - iv) Roof Materials: Metal, rubber composite and/or other industry standard materials for flat roofs, asphalt shingles.
 - (1) Solar panels are permitted on the roof of structures.
 - iv) Exterior Colors
 - (2) Structure Wall Colors: White, silver, gray, or earth tones. Trim colors shall be similarly neutral and complimentary to wall colors..
 - (3) Structure Roof Colors: Metals roofs may include the following colors, red, silver, gray, green, white, or blue. Asphalt shingle colors may include earth tones, black, green, or gray. Flat roof colors may include black, gray, or white.
- b) SITE
- i) Site Engineering:
 - (1) Infrastructure/ Utilities:
 - (a) Sanitary: Sanitary structures, materials, and design shall comply with City of Delaware Engineering Standards and Specifications.
 - (b) Stormwater: Storm structures shall comply with City of Delaware Engineering Standards and Specifications. Storm water retention and detention facilities shall comply with City of Delaware Engineering Standards and Specifications.
 - (c) Water: Water system structures, materials, and design shall comply with City of Delaware Engineering Standards and Specifications.
 - (d) Electric: All electric service lines within 50' of public rights-of-way shall be installed underground. Existing overhead electric lines may remain above grade.
 - (e) Telecommunications: All telecommunications lines within 50' of public rights-of-way shall be installed underground. Existing overhead telecommunication lines may remain above grade.
 - (f) Other utilities: All other utility lines within 50' of public rights-of-way shall be installed underground. Other existing overhead lines may remain above grade.
 - (2) Internal Drives: All drives throughout the fairgrounds site shall be paved or compacted aggregate with the appropriate top dressing. All turning radius and maneuvering geometrics of the paved drives shall meet the approval of the Chief of the City of Delaware Fire Department.
 - (3) Walks/ Non-vehicular paths: All pedestrian walks shall be paved with asphalt, concrete, or masonry-units, such as pavers, brick, etc. Accessways primarily for livestock use may be constructed of stone, mulch, soil, wood chips, or other appropriate material that is safe with the use of agricultural livestock and equipment.
 - (4) Lighting: The primary purposes of lighting on the fairgrounds is for year-round security and building identification lighting. Further, with the agricultural uses generally associated with Planning Area One, minimal lighting is necessary for

this area. Lighting may be brought in for short-term use for operations and management use during fair times or other special events. These would be special events only. All future lighting shall be LED light fixtures, with a range of 2,800 to 3,200 K.

- ii) **Parking:** The Fairgrounds has operated for many years with two very large parking areas, one to the west and one to the east, each generally containing paved drives, aisles and lawn parking areas. With both areas having served as parking areas for numerous years, each works throughout the year with minimal disruptions due to weather conditions. In addition to these two areas, extensive parking exists between existing facilities. With the quantity of parking spaces of these two large parking areas and the parking between facilities, additional parking around new and current facilities is only necessary for convenience and to accommodate those who are in need of assistance. Under this condition, new parking areas are only required to meet ADA requirements and to meet parking accommodations for those visitors with special needs.
- iii) **Landscaping:** New structures fronting along and within one-hundred feet (100') of public road rights-of-way shall meet City Zoning Ordinance Landscape Standards. Service areas visible from public roads of all facilities in Planning Area Three shall be screened from view from the public road. The Fair Board is committed to adding trees to the landscape of the fairgrounds. Trees will be planted in sitting areas around new and existing buildings. Internal drives in the fairgrounds area, shall be lined with street trees (2" caliper minimum), except where the drives are lined with vehicular areas, such as parking areas, access areas, maintenance areas, agricultural staging areas, etc. Landscaping in areas around the fairgrounds should not obstruct fair operations or functions of existing and new structures, but rather, shall enhance user areas within the grounds.
- iv) **Site Furnishings:** Site furnishings include benches, trash receptacles, information kiosks, etc. Site furnishings are considered for short-term, special events. Permanent site furnishings will only be used around year-round use facilities, such as the Fair Office area and the Log Cabin area.

4) Planning Area Four – Campground/ Open Space Areas

This area is located north of the Junior Fair/Agricultural Area (Planning Area One) and is entirely located in the City.

- a) **Permitted Uses:** Agricultural structures, campground facilities, outdoor riding arenas, agricultural and livestock displays, offices, and accessory uses supporting these agricultural, fair, and special event uses.
- b) **Structures**
 - i) **Setback along Public Rights-of-Way:** 50'
 - ii) **Structure First Floor Area**

- (1) Maximum first floor area: 30,000 s.f.

iii) Structure Height

- (1) Maximum height: 40' as averaged at the four outermost corners of the structure. On a flat roof, height shall be measured from the center of the roof to the adjacent average finished grade. On a pitched roof, height shall be measured from the peak of the roof to the adjacent average finished grade. Accessory structures such as parapets, stair towers, elevator shafts, spires, flags, cupolas, etc. are not limited to the maximum height restrictions.

iv) Materials:

- (1) Exterior Wall Materials: Metal, wood, masonry materials (brick, concrete, stone, etc.), wood-like siding (ex., Hardy materials, Smart Siding, or other manufacturers on similar composite materials).
- (2) Roof Materials: Metal, rubber composite and/or other industry standard materials for flat roofs, asphalt shingles.
 - (a) Solar panels are permitted on the roof of structures

v) Exterior Colors

- (1) Structure Wall Colors: White, silver, gray, or earth tones. Trim colors shall be similarly neutral and complimentary to wall colors..
- (2) Structure Roof Colors: Metals roofs may include the following colors, red, silver, gray, green, white, or blue. Asphalt shingle colors may include earth tones, black, green, or gray. Flat roof colors may include black, gray, or white.

c) Site

i) Site Engineering

(1) Infrastructure/ Utilities:

- (a) Sanitary: Sanitary structures, materials, and design shall comply with City of Delaware Engineering Standards and Specifications.
 - (b) Stormwater: Storm structures shall comply with City of Delaware Engineering Standards and Specifications. Storm water retention and detention facilities shall comply with City of Delaware Engineering Standards and Specifications.
 - (c) Water: Water system structures, materials, and design shall comply with City of Delaware Engineering Standards and Specifications.
 - (d) Electric: All electric service lines within 50' of public rights-of-way shall be installed underground. Existing overhead electric lines may remain above grade.
 - (e) Telecommunications: All telecommunications lines within 50' of public rights-of-way shall be installed underground. Existing overhead telecommunication lines may remain above grade.
 - (f) Other utilities: All other utility lines within 50' of public rights-of-way shall be installed underground. Other existing overhead lines may remain above grade.
- (2) Internal Drives: All drives throughout the fairgrounds site shall be paved or compacted aggregate with the appropriate top dressing. All turning radius and

maneuvering geometrics of the paved drives shall meet the approval of the Chief of the City of Delaware Fire Department.

- (3) Walks/ Non-vehicular paths: All pedestrian walks shall be paved with asphalt, concrete, or masonry-units, such as pavers, brick, etc. Accessways primarily for livestock use may be constructed of stone, mulch, soil, wood chips, or other appropriate material that is safe with the use of agricultural livestock and equipment
 - (4) Lighting: The primary purposes of lighting on the fairgrounds is for year-round security and building identification lighting. Further, with the agricultural uses generally associated with Planning Area One, minimal lighting is necessary for this area. Lighting may be brought in for short-term use for operations and management use during fair times or other special events. These would be special events only. All future lighting shall be LED light fixtures, with a range of 2,800 to 3,200 K.
- ii) Parking: The Fairgrounds has operated for many years with two very large parking areas, one to the west and one to the east, each generally containing paved drives aisles and lawn parking areas. With both areas having served as parking areas for numerous years, each works throughout the year with minimal disruptions due to weather conditions. In addition to these two areas, extensive parking exists between existing facilities. With the quantity of parking spaces of these two large parking areas and the parking between facilities, additional parking around new and current facilities is only necessary for convenience and to accommodate those who are in need of assistance. Under this condition, new parking areas are only required to meet ADA requirements and to meet parking accommodations for those visitors with special needs.
 - iii) Landscaping: New structures fronting along and within one-hundred feet (100') of public road rights-of-way shall meet City Zoning Ordinance Landscape Standards. The Fair Board is committed to adding trees to the landscape of the fairgrounds. Trees will be planted in sitting areas around new and existing buildings. Internal drives in the fairgrounds area, shall be lined with street trees (2" caliper minimum), except where the drives are lined with vehicular areas, such as parking areas, access areas, maintenance areas, agricultural staging areas, etc. Landscaping in areas around the fairgrounds should not obstruct fair operations or functions of existing and new structures, but rather, shall enhance user areas within the grounds.
 - iv) Site Furnishings: Site furnishings include benches, trash receptacles, information kiosks, etc. Site furnishings are considered for short-term, special events. Permanent site furnishings will only be used around year-round use facilities, such as the Fair Office area and the Log Cabin area.

5) Planning Area Five -The Track and Grandstand Area

This area is located north of the Amusement Area (Planning Area Three) and is entirely located in the County except for a small portion of the northeast area and extreme northern and western portion of the area that are located in the City. The Track and Grandstand Area includes the Grandstand and Track area, the horse barns, the Log Cabin, the Jug Barn, the

Jugette Barn, associated uses and maintenance areas, the horse training areas, and the internal drives connecting these facilities. While this area is recognized as the home of the Little Brown Jug, the Equestrian Area is, year-round, the most actively used area of the Fairgrounds, providing year-round horse boarding and training facilities.

- a) Permitted Uses: The Track facilities, the Grandstand facilities, the horse barns and support facilities, the Brown Jug offices, year-round training facilities, support facilities for the racing uses, horse boarding and training facilities, offices, agricultural barns, camping facilities and accessory uses supporting these agricultural, fair, and special event uses.

- b) Structures
 - i) Setback along Public Rights-of-Way: 50'
 - ii) Structure First Floor Area
 - (1) Maximum first floor area: 100,000 s.f
 - iii) Structure Height
 - (1) Maximum height: 60' as averaged at the four outermost corners of the structure.
On a flat roof, height shall be measured from the center of the roof to the adjacent average finished grade. On a pitched roof, height shall be measured from the peak of the roof to the adjacent average finished grade. Accessory structures such as parapets, stair towers, elevator shafts, spires, flags, cupolas, etc. are not limited to the maximum height restrictions.
 - iv) Materials:
 - (1) Exterior Wall Materials: Metal, wood, masonry materials (brick, concrete, stone, etc.), wood-like siding (ex., Hardy materials, Smart Siding, or other manufacturers on similar composite materials).
 - (2) Roof Materials: Metal, rubber composite and/or other industry standard materials for flat roofs, asphalt shingles.
 - (a) Solar panels are permitted on the roof of structures.
 - v) Exterior Colors
 - (1) Structure Wall Colors: White, silver, gray, or earth tones. Trim colors shall be similarly neutral and complimentary to wall colors..
 - (2) Structure Roof Colors: Metals roofs may include the following colors, red, silver, gray, green, white, or blue. Asphalt shingle colors may include earth tones, black, green, or gray. Flat roof colors may include black, gray, or white.

- c) Site
 - i) Site Engineering:
 - (1) Infrastructure/ Utilities:
 - (a) Sanitary: Sanitary structures, materials, and design shall comply with City of Delaware Engineering Standards and Specifications.
 - (b) Stormwater: Storm structures shall comply with City of Delaware Engineering Standards and Specifications. Storm water retention and detention facilities shall comply with City of Delaware Engineering Standards and Specifications.

- (c) Water: Water system structures, materials, and design shall comply with City of Delaware Engineering Standards and Specifications.
 - (d) Electric: All electric service lines within 50' of public rights-of-way shall be installed underground. Existing overhead electric lines may remain above grade.
 - (e) Telecommunications: All telecommunications lines within 50' of public rights-of-way shall be installed underground. Existing overhead telecommunication lines may remain above grade.
 - (f) Other utilities: All other utility lines within 50' of public rights-of-way shall be installed underground. Other existing overhead lines may remain above grade.
- (2) Internal Drives: All drives throughout the fairgrounds site shall be paved or compacted aggregate with the appropriate top dressing. All turning radius and maneuvering geometrics of the paved drives shall meet the approval of the Chief of the City of Delaware Fire Department.
 - (3) Walks/ Non-vehicular paths: All pedestrian walks shall be paved with asphalt, concrete, or masonry-units, such as pavers, brick, etc. Accessways primarily for livestock use may be constructed of stone, mulch, soil, wood chips, or other appropriate material that is safe with the use of agricultural livestock and equipment.
 - (4) Lighting: The primary purposes of lighting on the fairgrounds is for year-round security and building identification lighting. Further, with the agricultural uses generally associated with Planning Area One, minimal lighting is necessary for this area. Lighting may be brought in for short-term use for operations and management use during fair times or other special events. These would be special events only. All future lighting shall be LED light fixtures, with a range of 2,800 to 3,200 K.
- ii) Parking: The Fairgrounds has operated for many years with two very large parking areas, one to the west and one to the east, each generally containing paved drives aisles and lawn parking areas. With both areas having served as parking areas for numerous years, each works throughout the year with minimal disruptions due to weather conditions. In addition to these two areas, extensive parking exists between existing facilities. With the quantity of parking spaces of these two large parking areas and the parking between facilities, additional parking around new and current facilities is only necessary for convenience and to accommodate those who are in need of assistance. Under this condition, new parking areas are only required to meet ADA requirements and to meet parking accommodations for those visitors with special needs.
 - iii) Landscaping: New structures fronting along and within one-hundred feet (100') of public road rights-of-way shall meet City Zoning Ordinance Landscape Standards. Service areas visible from public roads of all facilities in Planning Area One shall be screened from view from the public road. The Fair Board is committed to adding trees to the landscape of the fairgrounds. Trees will be planted in sitting areas around new and existing buildings. Internal drives in the fairgrounds area, shall be lined with street trees (2" caliper minimum), except where the drives are lined with vehicular areas, such as parking areas, access areas, maintenance areas, agricultural staging

areas, etc. Landscaping in areas around the fairgrounds should not obstruct fair operations or functions of existing and new structures, but rather, shall enhance user areas within the grounds.

- iv) Site Furnishings: Site furnishings include benches, trash receptacles, information kiosks, etc. Site furnishings are considered for short-term, special events. Permanent site furnishings will only be used around year-round use facilities, such as the Fair Office area and the Log Cabin area.

6) Planning Area Six – Motorplex Area

This area is located north of the Track and Grandstand Area (Planning Area Five) and is entirely located in the City.

- a) Permitted Uses: Permitted Uses: Buildings and uses generally associated with the motor sports featured at the fairgrounds, grandstands, warehouses and maintenance facilities, camping facilities, offices, and accessory uses supporting these agricultural, fair, and special event uses.
- b) Structures
 - i) Setback along Public Rights-of-Way: 50'
 - ii) Structure First Floor Area
 - (1) Maximum first floor area: 40,000 s.f.
 - iii) Structure Height
 - (1) Maximum height: 40' as averaged at the four outermost corners of the structure. On a flat roof, height shall be measured from the center of the roof to the adjacent average finished grade. On a pitched roof, height shall be measured from the peak of the roof to the adjacent average finished grade. Accessory structures such as parapets, stair towers, elevator shafts, spires, flags, cupolas, etc. are not limited to the maximum height restrictions.
 - (2) Materials:
 - (a) Exterior Wall Materials: Metal, wood, masonry materials (brick, concrete, stone, etc.), wood-like siding (ex., Hardy materials, Smart Siding, or other manufacturers on similar composite materials).
 - (b) Roof Materials: Metal, rubber composite and/or other industry standard materials for flat roofs, asphalt shingles.
 - (i) Solar panels are permitted on the roof of structures.
 - (3) Exterior Colors
 - (a) Structure Wall Colors: White, silver, gray, or earth tones. Trim colors shall be similarly neutral and complimentary to wall colors..
 - (b) Structure Roof Colors: Metals roofs may include the following colors, red, silver, gray, green, white, or blue. Asphalt shingle colors may include earth tones, black, green, or gray. Flat roof colors may include black, gray, or white.
- c) Site
 - i) Site Engineering:
 - (1) Infrastructure/ Utilities:

- (a) Sanitary: Sanitary structures, materials, and design shall comply with City of Delaware Engineering Standards and Specifications.
 - (b) Stormwater: Storm structures shall comply with City of Delaware Engineering Standards and Specifications. Storm water retention and detention facilities shall comply with City of Delaware Engineering Standards and Specifications.
 - (c) Water: Water system structures, materials, and design shall comply with City of Delaware Engineering Standards and Specifications.
 - (d) Electric: All electric service lines within 50' of public rights-of-way shall be installed underground. Existing overhead electric lines may remain above grade.
 - (e) Telecommunications: All telecommunications lines within 50' of public rights-of-way shall be installed underground. Existing overhead telecommunication lines may remain above grade.
 - (f) Other utilities: All other utility lines within 50' of public rights-of-way shall be installed underground. Other existing overhead lines may remain above grade.
- (2) Internal Drives: All drives throughout the fairgrounds site shall be paved or compacted aggregate with the appropriate top dressing. All turning radius and maneuvering geometrics of the paved drives shall meet the approval of the Chief of the City of Delaware Fire Department.
 - (3) Walks/ Non-vehicular paths: All pedestrian walks shall be paved with asphalt, concrete, or masonry-units, such as pavers, brick, etc. Accessways primarily for livestock use may be constructed of stone, mulch, soil, wood chips, or other appropriate material that is safe with the use of agricultural livestock and equipment.
 - (4) Lighting: The primary purposes of lighting on the fairgrounds is for year-round security and building identification lighting. Further, with the agricultural uses generally associated with Planning Area One, minimal lighting is necessary for this area. Lighting may be brought in for short-term use for operations and management use during fair times or other special events. These would be special events only. All future lighting shall be LED light fixtures, with a range of 2,800 to 3,200 K.
- ii) Parking: The Fairgrounds has operated for many years with two very large parking areas, one to the west and one to the east, each generally containing paved drives aisles and lawn parking areas. With both areas having served as parking areas for numerous years, each works throughout the year with minimal disruptions due to weather conditions. In addition to these two areas, extensive parking exists between existing facilities. With the quantity of parking spaces of these two large parking areas and the parking between facilities, additional parking around new and current facilities is only necessary for convenience and to accommodate those who are in need of assistance. Under this condition, new parking areas are only required to meet ADA requirements and to meet parking accommodations for those visitors with special needs.
 - iii) Landscaping: New structures fronting along and within one-hundred feet (100') of public road rights-of-way shall meet City Zoning Ordinance Landscape Standard

Service areas visible from public roads of all facilities in Planning Area One shall be screened from view from the public road. The Fair Board is committed to adding trees to the landscape of the fairgrounds. Trees will be planted in sitting areas around new and existing buildings. Internal drives in the fairgrounds area, shall be lined with street trees (2" caliper minimum), except where the drives are lined with vehicular areas, such as parking areas, access areas, maintenance areas, agricultural staging areas, etc. Landscaping in areas around the fairgrounds should not obstruct fair operations or functions of existing and new structures, but rather, shall enhance user areas within the grounds.

- iv) Site Furnishings: Site furnishings include benches, trash receptacles, information kiosks, etc. Site furnishings are considered for short-term, special events. Permanent site furnishings will only be used around year-round use facilities, such as the Fair Office area and the Log Cabin area.

7) Planning Area Seven – Parking Area

There are three parking areas located on the fairgrounds with two parking areas entirely in the City along Pennsylvania Avenue on the eastern and western perimeters of the fairgrounds. A third parking area is located east of the Track and Grandstand Area and is almost entirely located in the County except for the northern portion of the area.

- a) Permitted Uses: Agricultural display uses, community events, athletic events, uses and structures associated with parking facilities, flea markets and other community retail events, entertainment uses and accessory uses supporting these agricultural, fair, and special event uses.

b) Structures

- i) Setback along Public Rights-of-Way: 50'

- ii) Structure First Floor Area

- (1) Maximum first floor area: 20,000 s.f.

- iii) Structure Height

- (1) Maximum height: 50' as averaged at the four outermost corners of the structure.

- On a flat roof, height shall be measured from the center of the roof to the adjacent average finished grade. On a pitched roof, height shall be measured from the peak of the roof to the adjacent average finished grade. Accessory structures such as parapets, stair towers, elevator shafts, spires, flags, cupolas, etc. are not limited to the maximum height restrictions.

- (2) Materials:

- (a) Exterior Wall Materials: Metal, wood, masonry materials (brick, concrete, stone, etc.), wood-like siding (ex., Hardy materials, Smart Siding, or other manufacturers on similar composite materials).

- (b) Roof Materials: Metal, rubber composite and/or other industry standard materials for flat roofs, asphalt shingles.

- (i) Solar panels are permitted on the roof of structures.

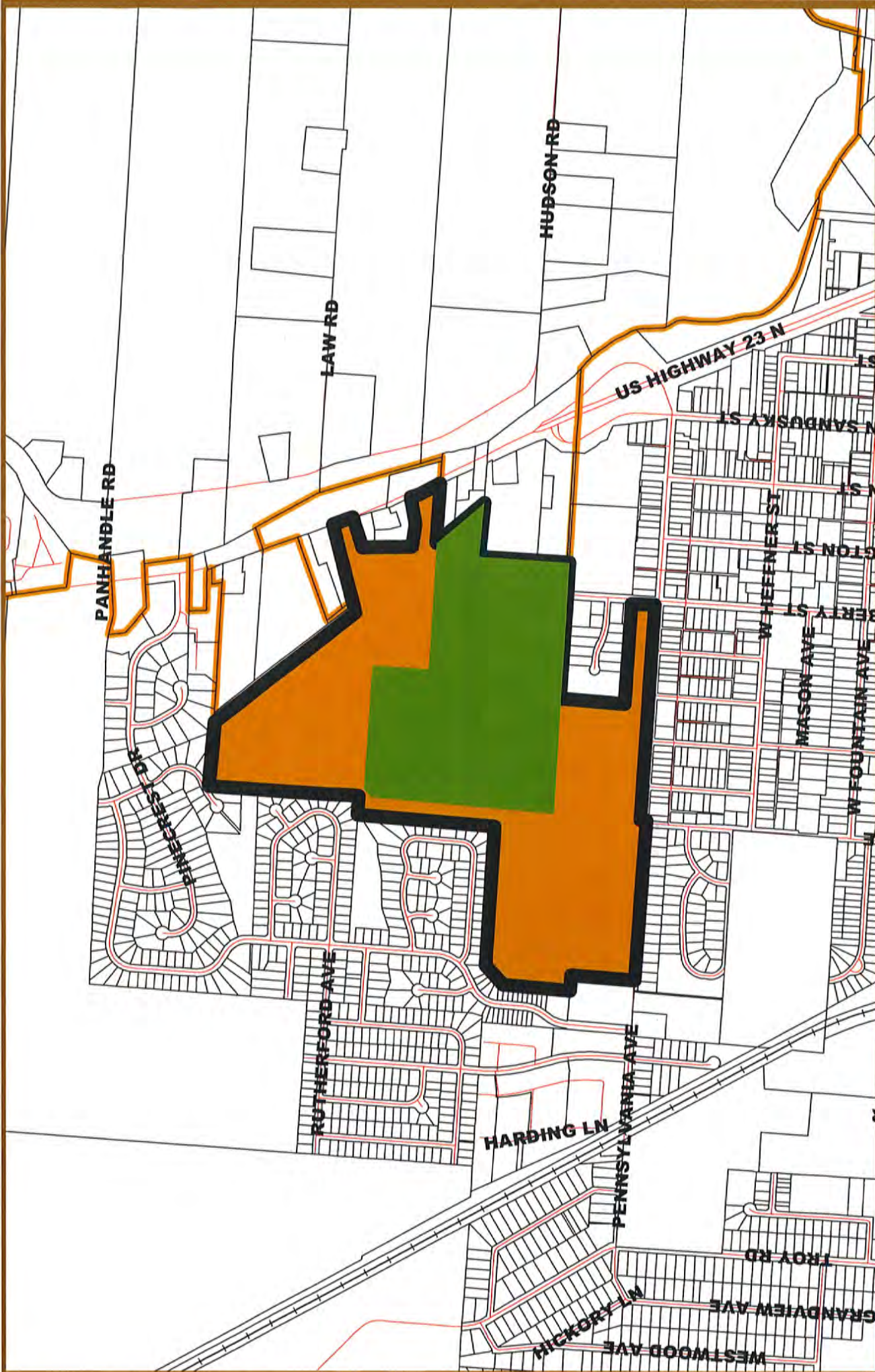
- (c) Exterior Colors

- (i) Structure Wall Colors: White, silver, gray, or earth tones. Trim colors shall be similarly neutral and complimentary to wall colors.
 - (ii) Structure Roof Colors: Metals roofs may include the following colors, red, silver, gray, green, white, or blue. Asphalt shingle colors may include earth tones, black, green, or gray. Flat roof colors may include black, gray, or white.
- c) Site
 - i) Site Engineering:
 - (1) Infrastructure/Utilities
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 - (b) Stormwater: Storm structures shall comply with City of Delaware Engineering Standards and Specifications. Storm water retention and detention facilities shall comply with City of Delaware Engineering Standards and Specifications.
 - (c) Water: Water system structures, materials, and design shall comply with City of Delaware Engineering Standards and Specifications.
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 - ii) Parking: The Fairgrounds has operated for many years with two very large parking areas, one to the west and one to the east, each generally containing paved drives aisles and lawn parking areas. With both areas having served as parking areas for numerous years, each works throughout the year with minimal disruptions due to

weather conditions. In addition to these two areas, extensive parking exists between existing facilities. With the quantity of parking spaces of these two large parking areas and the parking between facilities, additional parking around new and current facilities is only necessary for convenience and to accommodate those who are in need of assistance. Under this condition, new parking areas are only required to meet ADA requirements and to meet parking accommodations for those visitors with special needs.

- iii) Landscaping: New structures fronting along and within one-hundred feet (100') of public road rights-of-way shall meet City Zoning Ordinance Landscape Standards. Service areas visible from public roads of all facilities in Planning Area One shall be screened from view from the public road. The Fair Board is committed to adding trees to the landscape of the fairgrounds. Trees will be planted in sitting areas around new and existing buildings. Internal drives in the fairgrounds area, shall be lined with street trees (2" caliper minimum), except where the drives are lined with vehicular areas, such as parking areas, access areas, maintenance areas, agricultural staging areas, etc. Landscaping in areas around the fairgrounds should not obstruct fair operations or functions of existing and new structures, but rather, shall enhance user areas within the grounds.

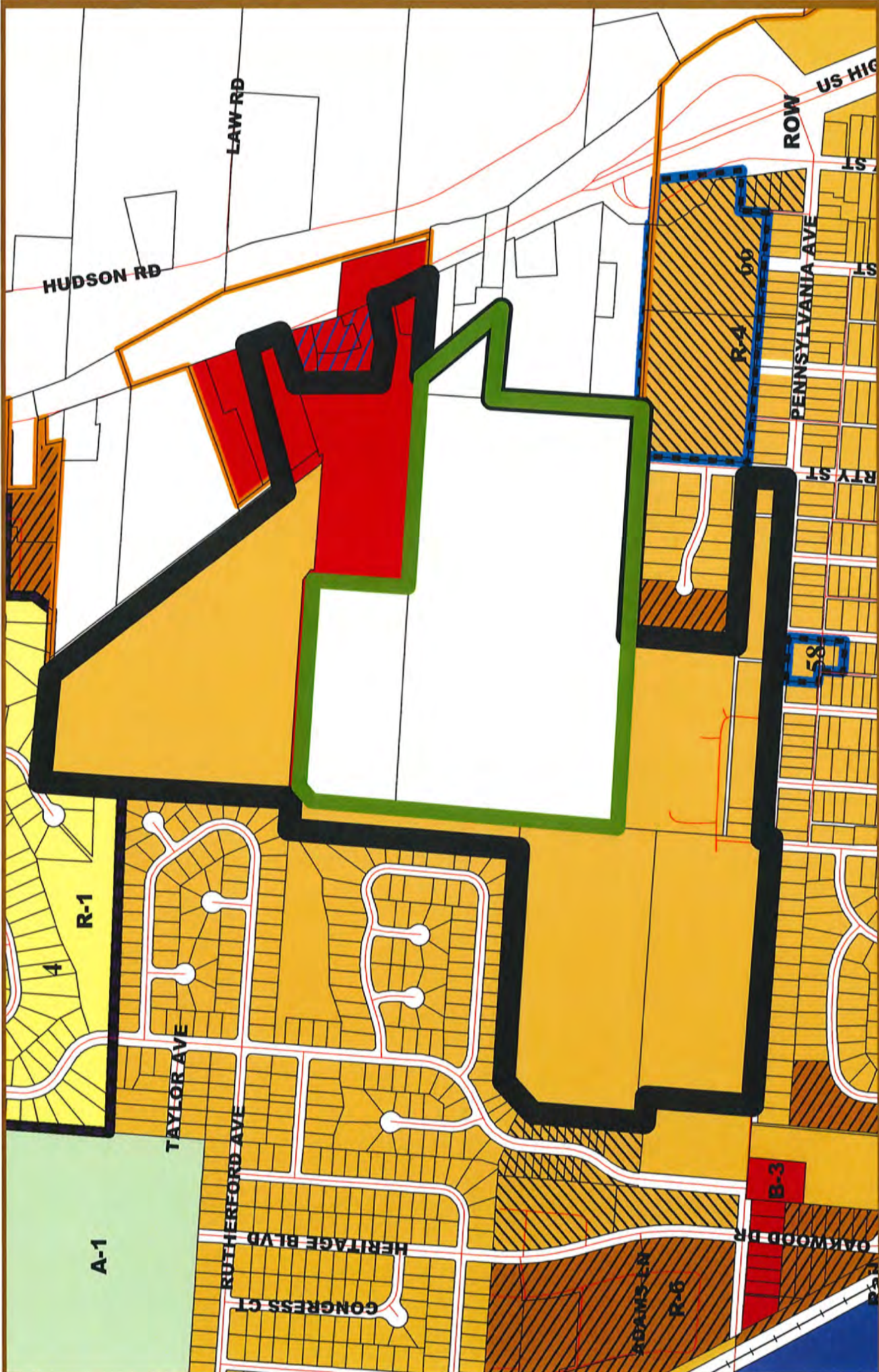
- iv) Site Furnishings: Site furnishings include benches, trash receptacles, information kiosks, etc. Site furnishings are considered for short-term, special events. Permanent site furnishings will only be used around year-round use facilities, such as the Fair Office area and the Log Cabin area.



2020-0400-0403

Rezoning Amendment, Conditional Use Permit,
 Preliminary Development Plan, and Alley Vacation
 Delaware County Fairgrounds - 236 Pennsylvania Avenue
 Location Map





2020-0400-0403

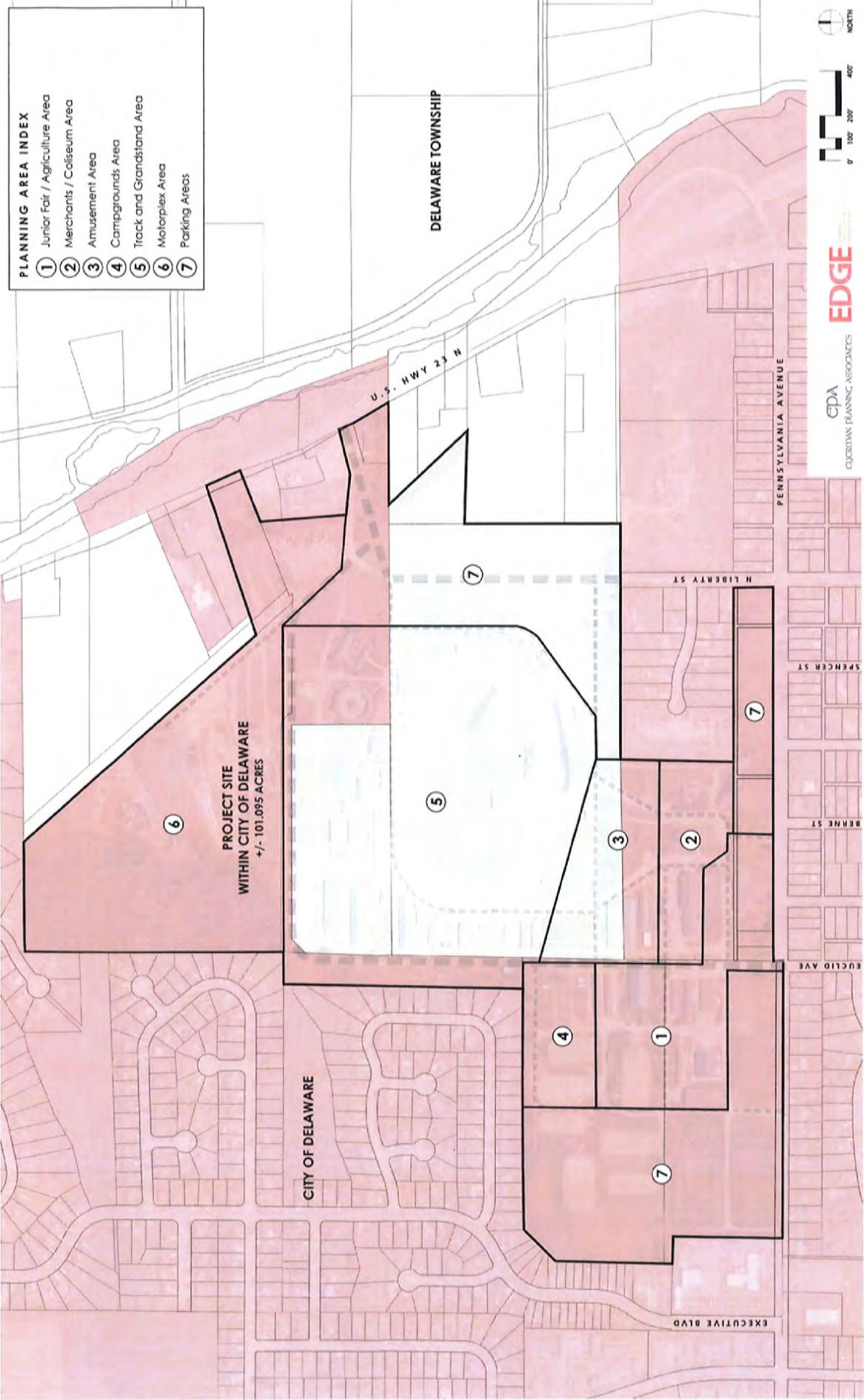
Rezoning Amendment, Conditional Use Permit,
 Preliminary Development Plan, and Alley Vacation
 Delaware County Fairgrounds - 236 Pennsylvania Avenue
 Zoning Map





2020-0400-0403
 Rezoning Amendment, Conditional Use Permit,
 Preliminary Development Plan, and Alley Vacation
 Delaware County Fairgrounds - 236 Pennsylvania Avenue
 Aerial (2016) Map





PLANNING AREA INDEX

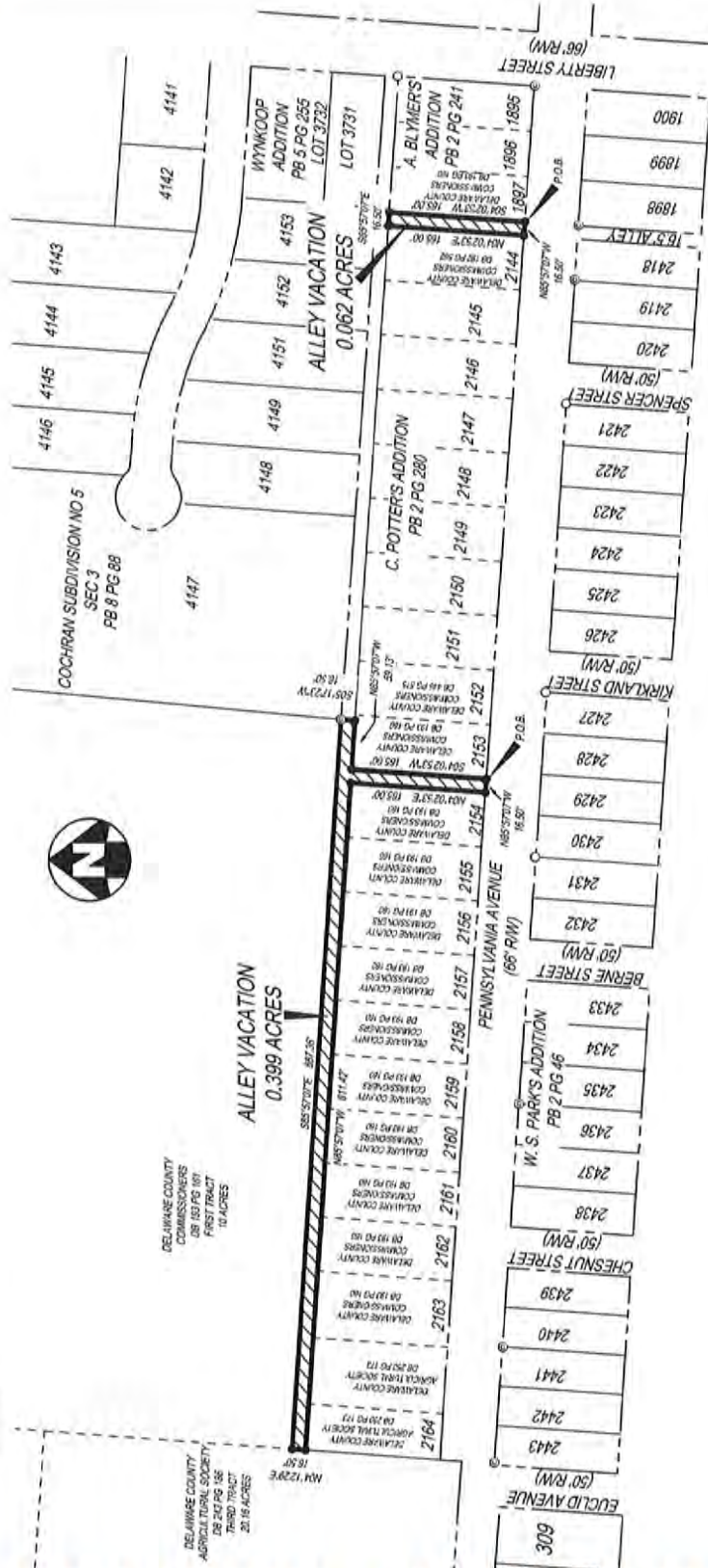
- ① Junior Fair / Agriculture Area
- ② Merchants / Coliseum Area
- ③ Amusement Area
- ④ Campgrounds Area
- ⑤ Track and Grandstand Area
- ⑥ Motorplex Area
- ⑦ Parking Areas



EDGE
CORPORATE PLANNING ASSOCIATES
CPA

LEGEND

- 5/8" CAPPED IRON PIN SET
- 5/8" IRON PIN FOUND
- ⊙ 1" IRON PIPE FOUND
- ▲ NAIL SET
- ▲ NAIL FOUND
- ▲ RR SPIKE SET
- STONE



NOTES

- 1) OCCUPATION IN GENERAL FITS SURVEY WITH THE EXCEPTION OF ENCROACHMENTS INTO UNIMPROVED ALLEYS TO THE EAST OF PORTIONS BEING VACATED.
- 2) SOURCE DOCUMENTS AS NOTED.
- 3) BEARINGS ARE BASED ON THE STATE PLANE COORDINATE SYSTEM OHIO NORTH ZONE (NAD83-HP83007), WITH A PORTION OF THE NORTHERN PORTION OF PENNSYLVANIA AVENUE BEING ASSUMED TO BE DETERMINED BY A GPS SURVEY UTILIZING CORS STATION 'OHV1'.
- 4) THIS DRAWING IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY THE KLEINGERS GROUP IN NOVEMBER, 2011 AND DECEMBER, 2011.

VOLUME PAGE

THE KLEINGERS GROUP
 CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE
 300 Northpark Blvd
 Suite 100
 Columbus, OH 43219
 (614) 862-0371

STATE OF OHIO
MICHAEL L. KELLER
7978
REGISTERED PROFESSIONAL ENGINEER

16.5' ALLEY VACATIONS

SEC. 4, TWP. 5, R. 19
 A. BLYMERS' ADDITION (PB 2 PG 241)
 C. POTTER'S ADDITION (PB 2 PG 280)
 CITY OF DELAWARE,
 COUNTY OF DELAWARE
 OHIO

PROJECT NO. 170858.001
 DATE 9/18/19
 SCALE 1" = 100'

ALLEY VACATIONS

SHEET NO. **1 OF 1**

DATE 9/18/19



I HEREBY CERTIFY TO FIRST COMMONWEALTH BANK AND FIRST AMERICAN TITLE INSURANCE COMPANY THAT THIS PLAT IS BASED ON A SURVEY MADE UNDER MY DIRECTION.

Michael L. Keller
 MICHAEL L. KELLER
 OHIO PROFESSIONAL SURVEYOR NO. 7978

**ALLEY VACATION
0.399 ACRES**

Situated in the City of Delaware, County of Delaware, State of Ohio; also being a part of Section 4 Township 5 Range 19; also being a north-south 16.5' (1-pole) alley and a portion of an east-west 16.5' (1-pole) alley located on the north side of Pennsylvania Avenue, west of Liberty Street, as established in C. Potter's Addition to the City of Delaware as recorded in Plat Book 2 Page 280; being more particularly described as follows:

Beginning at an iron pin set at the southwesterly corner of Lot 2153 of said C. Potter's Addition, said point being the intersection of the easterly right-of-way line of said north-south alley and the northerly right-of-way line of Pennsylvania Avenue (66' right-of-way), said point also being the **TRUE POINT OF BEGINNING**, and from said beginning point running thence,

Along the extended northerly right-of-way line of Pennsylvania Avenue following the southerly terminus of said north-south alley, **North 85° 57' 07" West for a distance of 16.50'** to an iron pin set, said point being the southeasterly corner of Lot 2154 of said C. Potter's Addition; thence,

Along the westerly right-of-way line of said north-south alley and along the easterly line of said Lot 2154, **North 04° 02' 53" East for a distance of 165.00'** to an iron pin set, said point being the intersection of the westerly right-of-way line of said north-south alley and the southerly right-of-way line of said east-west alley; thence,

Along the southerly right-of-way line of said east-west alley, also being along northerly lines of said Lot 2154 and then Lots 2155 through 2163 of said C. Potter's Addition and then along the northerly line of a tract as conveyed to Delaware County Agricultural Society as described in Deed Book 250 Page 173 and then along the northerly line of Lot 2164 of said C. Potter's Addition, **North 85° 57' 07" West for a distance of 811.42'** to an iron pin set, said point being along the easterly line of a 20.16 acre tract as conveyed to Delaware County Agricultural Society as described in Deed Book 243 Page 186 Third Tract; thence,

Along the westerly terminus of said east-west alley, also being along a portion of the easterly line of said 20.16 acre tract, **North 04° 12' 29" East for a distance of 16.50'** to an iron pin set, said point being the southwesterly corner of a 10 acre tract as conveyed to Delaware County Commissioners as described in Deed Book 193 Page 161 First Tract; thence,

Along the northerly right-of-way line of said east-west alley and along the southerly line of said 10 acre tract, **South 85° 57' 07" East for a distance of 887.36'** to a 1" iron pipe found, said point being the southwesterly corner of Lot 4147 of Cochran Subdivision No. 5 Section 3 as recorded in Plat Book 8 Page 88; thence,

Along a line through said east-west alley, **South 05° 17' 23" West for a distance of 16.50'** to an iron pin set along the northerly line of said Lot 2153; thence,

Along the southerly right-of-way line of said east-west alley and along a portion of the northerly line of said Lot 2153, **North 85° 57' 07" West for a distance of 59.13'** to an iron pin set; thence,

Along the easterly line of said north-south alley and along the westerly line of said Lot 2153, **South 04° 02' 53" West for a distance of 165.00'** to the point of beginning, containing 0.399 acres of land, more or less, as determined by Michael L. Keller, Professional Surveyor, Ohio License No. 7978, based on a survey performed by The Kleingers Group in December, 2017.

DESCRIPTION FOR CLOSING ONLY
 RPC Approval Required
 Municipal Approval Required
Delaware County Engineer

11/11/17

ALLEY VACATION
0.062 ACRES

Situated in the City of Delaware, County of Delaware, State of Ohio; also being a part of Section 4 Township 5 Range 19; also being a north-south 16.5' (1-pole) alley on the north side of Pennsylvania Avenue, west of Liberty Street, as established in A. Blymyer's Addition to the City of Delaware as recorded in Plat Book 2 Page 241; being more particularly described as follows:

Beginning at an iron pin set at the southwesterly corner of Lot 1897 of said A. Blymyer's Addition, said point being along the northerly right-of-way line of Pennsylvania Avenue, said point being the **TRUE POINT OF BEGINNING**, and from said beginning point running thence,

Along the extended northerly right-of-way line of Pennsylvania Avenue and along the southerly terminus of said alley, **North 85° 57' 07" West for a distance of 16.50'** to an iron pin set; thence,

Along the westerly line of said alley, also being along the easterly line of Lot 2144 of C. Potter's Addition to the City of Delaware as recorded in Plat Book 2 Page 280, **North 04° 02' 53" East for a distance of 165.00'** to an iron pin set, said point being the intersection of the westerly line of said alley and the southerly right-of-way line of an east-west 16.5' (1 pole) alley; thence,

Along the extended southerly right-of-way line of said east-west alley and along the terminus of the northerly right-of-way of said north-south alley, **South 85° 57' 07" East for a distance of 16.50'** to an iron pin set; thence,

Along the easterly right-of-way line of said north-south alley and along the westerly line of said Lot 1897, **South 04° 02' 53" West for a distance of 165.00'** to the point of beginning, containing 0.062 acres of land, more or less, as determined by Michael L. Keller, Professional Surveyor, Ohio License No. 7978, based on a survey performed by The Kleingers Group in December, 2017.

Basis of bearings is the State Plane Coordinate System, Ohio North Zone (NAD83-2011) with a portion of the northerly right-of-way line of Pennsylvania Avenue being North 85° 57' 07" West as determined by a GPS survey utilizing CORS station "OHUN".

Iron pins set are 5/8" diameter rebar, 30" in length, with plastic identifier caps stamped "THE KLEINGERS GROUP".

Subject to any easements, restrictions, covenants, ordinances or agreement of record.

DESCRIPTION FOR CLOSING ONLINE
 RPC Approval Required
 Municipal Approval Required
Delaware County Engineer
5/11/19



Michael L. Keller

Michael L. Keller
Professional Surveyor, Ohio License No. 7978

9/19/19
Date

Basis of bearings is the State Plane Coordinate System, Ohio North Zone (NAD83-2011) with a portion of the northerly right-of-way line of Pennsylvania Avenue being North 85° 57' 07" West as determined by a GPS survey utilizing CORS station "OHUN".

Iron pins set are 5/8" diameter rebar, 30" in length, with plastic identifier caps stamped "THE KLEINGERS GROUP".

Subject to any easements, restrictions, covenants, ordinances or agreement of record.



Michael L. Keller

Michael L. Keller
Professional Surveyor, Ohio License No. 7978

9/19/19

Date



FACT SHEET

AGENDA ITEM NO: 10

DATE: 06/22/2020

ORDINANCE NO: 20-37

RESOLUTION NO:

READING: SECOND

PUBLIC HEARING: NO

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE APPROVING A COMBINED PRELIMINARY AND FINAL DEVELOPMENT PLAN FOR SKILKEN GOLD REAL ESTATE DEVELOPMENT FOR SHEETZ LOCATED ON LOT 12722 OF COUGHLIN'S CROSSING (WITHIN SUB-AREA 6) ON APPROXIMATELY 1.88 ACRES LOCATED EAST OF US 23 JUST SOUTH OF PENNY WAY AND ZONED A-1 PMU.

BACKGROUND:

See attached staff report.

REASON WHY LEGISLATION IS NEEDED:

To achieve compliance with Section 1129.05 Final Development Plan requirements of the zoning code.

COMMITTEE RECOMMENDATION:

Planning Commission recommended approval by a vote of 7-0 on June 3, 2020.

FISCAL IMPACT(S):

N/A

POLICY CHANGES:

N/A

PRESENTER(S):

David Efland, Planning and Community Development Director

RECOMMENDATION:

Staff recommends approval

ATTACHMENT(S)

See attached

ORDINANCE NO. 20-37

AN ORDINANCE APPROVING A COMBINED PRELIMINARY AND FINAL DEVELOPMENT PLAN FOR SKILKEN GOLD REAL ESTATE DEVELOPMENT FOR SHEETZ LOCATED ON LOT 12722 OF COUGHLIN'S CROSSING (WITHIN SUB-AREA 6) ON APPROXIMATELY 1.88 ACRES LOCATED EAST OF US 23 JUST SOUTH OF PENNY WAY AND ZONED A-1 PMU.

WHEREAS, the Planning Commission at its meeting of June 3, 2020 recommended approval of a Combined Preliminary and Final Development Plan for Skilken Gold Real Estate Development for Sheetz located on lot 12722 of Coughlin's Crossing (within Sub-Area 6) on approximately 1.88 acres located east of US 23 just south of Penny Way and zoned A-1 PMU (PC Case 2020-0417).

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Combined Preliminary and Final Development Plan for Skilken Gold Real Estate Development for Sheetz located on lot 12722 of Coughlin's Crossing (within Sub-Area 6) on approximately 1.88 acres located east of US 23 just south of Penny Way and zoned A-1 PMU, is hereby confirmed, approved, and accepted with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. The dumpster shall be screened from public view by a wall constructed of brick or stone that matches the new building with wood doors painted or stained to match or compliment the overall building.
3. The development shall require a payment in lieu of planting trees of \$8,499.48 (1.88 acres x \$4,521 per acre) prior to the approval of construction drawings to achieve compliance with Chapter 1168 Tree Preservation Requirements.
4. The proposed development shall require compliance with the US 23 Coughlin Crossing Landscape Plan (dated 4/26/19) that requires stone piers to be placed at regular intervals, street trees, a low 2-3 feet high undulating earthen mounding along with front yard trees (these trees maybe clustered to allow visibility).
5. The Shade Tree Commission shall review and approve the submitted street tree plans.

6. The limestone on the building, the stone canopy columns, and the ground sign bases shall be Delaware blue vein limestone (or cultured stone) or equivalent as approved by Staff.
7. All building and fuel canopy appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building material color.
8. All roof top mechanical equipment shall be completely screened from public view.
9. The Applicant shall submit all building, fuel canopy, and sign elevations with material and color samples for staff review and approval after approval of the Final Development Plan and prior to any building permit issuance.
10. The building and canopy signage shall not be internally illuminated.
11. The sign base shall be three feet high for better exposure from the north because the proposed sign is located approximately two feet below the grade of Penny Way.
12. A lighting plan that achieves compliance with the zoning code shall be submitted, reviewed and approved by the City. All lights shall be fully recessed and cut off and the light poles shall be black.
13. The two ice boxes and propane cages on the north elevation shall be painted to match the building.
14. No Video dispensers, ATM machines, or any other merchandise shall be permitted to be outside the building unless located within a defined designated area and buffered from the public right-of-way.
15. The development shall achieve compliance with Fire Department requirements.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS___NAYS___
ABSTAIN ___

PASSED: _____, 2020

YEAS___NAYS___
ABSTAIN ___

ATTEST: _____
CITY CLERK

MAYOR



FACT SHEET

AGENDA ITEM NO: 11

DATE: 06/22/2020

ORDINANCE NO: 20-38

RESOLUTION NO:

READING: SECOND

PUBLIC HEARING: YES
June 22, 2020 @ 7:40 p.m.

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: David Efland, Planning and Community Development Director

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

AN ORDINANCE APPROVING A CONDITIONAL USE PERMIT FOR SKILKEN GOLD REAL ESTATE DEVELOPMENT FOR SHEETZ LOCATED ON LOT 12722 OF COUGHLIN'S CROSSING (WITHIN SUB-AREA 6) ON APPROXIMATELY 1.88 ACRES LOCATED EAST OF US 23 JUST SOUTH OF PENNY WAY AND ZONED A-1 PMU.

BACKGROUND:

See attached staff report.

REASON WHY LEGISLATION IS NEEDED:

To achieve compliance with Section 1148 Conditional Use Regulations of the zoning code and the approved development text.

COMMITTEE RECOMMENDATION:

Planning Commission recommended approval by a vote of 7-0 on June 3, 2020.

FISCAL IMPACT(S):

N/A

POLICY CHANGES:

N/A

PRESENTER(S):

David Efland, Planning and Community Development Director

RECOMMENDATION:

Staff recommends approval

ATTACHMENT(S)

See attached

ORDINANCE NO. 20-38

AN ORDINANCE APPROVING A CONDITIONAL USE PERMIT FOR SKILKEN GOLD REAL ESTATE DEVELOPMENT FOR SHEETZ LOCATED ON LOT 12722 OF COUGHLIN'S CROSSING (WITHIN SUB-AREA 6) ON APPROXIMATELY 1.88 ACRES LOCATED EAST OF US 23 JUST SOUTH OF PENNY WAY AND ZONED A-1 PMU.

WHEREAS, the Planning Commission at its meeting of June 3, 2020 recommended approval of a Conditional Use Permit for Skilken Gold Real Estate Development for Sheetz located on lot 12722 of Coughlin's Crossing (within Sub-Area 6) on approximately 1.88 acres located east of US 23 just south of Penny Way and zoned A-1 PMU (PC Case 2020-0418).

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Delaware, State of Ohio:

SECTION 1. That the Conditional Use Permit for Skilken Gold Real Estate Development for Sheetz located on lot 12722 of Coughlin's Crossing (within Sub-Area 6) on approximately 1.88 acres located east of US 23 just south of Penny Way and zoned A-1 PMU, is hereby confirmed, approved, and accepted with the following condition that:

- 1. No other gas stations shall be permitted within the Coughlin's Crossing development (all Sub-Areas) per the approved development text.

SECTION 2. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Revised Code.

VOTE ON RULE SUSPENSION:

YEAS___NAYS___
ABSTAIN ___

PASSED: _____, 2020

YEAS___NAYS___
ABSTAIN ___

ATTEST: _____
CITY CLERK

MAYOR



PLANNING COMMISSION/STAFF REPORT

CASE NUMBER: 2020-0417-0418

REQUEST: Multiple Requests

PROJECT: Sheetz

MEETING DATE: June 3, 2020

APPLICANT/OWNER

Skilken Gold Real Estate Development
4270 Morse Road
Columbus, Ohio 43230

REQUEST

2020-0417: A request by Skilken Gold Real Estate Development for approval of a Combined Preliminary and Final Development Plan for Sheetz located on Lot 12722 (within Sub-Area 6) of Coughlin's Crossing on approximately 1.88 acres located east of US 23 just south of Penny Way and zoned A-1 PMU.

2020-0418: A request by Skilken Gold Real Estate Development for approval of a Conditional Use Permit for Sheetz located on Lot 12722 (within Sub-Area 6) of Coughlin's Crossing on approximately 1.88 acres located east of US 23 just south of Penny Way and zoned A-1 PMU.

PROPERTY LOCATION & DESCRIPTION

The subject property is located east of US 23, west of Coughlin Lane and south of Penny Way. The subject site is zoned A-1 PMU while the properties to the north, east and south are zoned the same. The properties to the west are zoned B-3 (Community Commercial).

BACKGROUND

In November 2016, the Planning Commission and City Council approved a Rezoning Amendment, Conditional Use Permit, an Amendment to the Comprehensive Plan, Preliminary Development Plan and Preliminary Subdivision Plat for the proposed mixed-use development. In May 2017, Planning Commission and City Council approved a Final Development Plan for Phase 1 (Infrastructure), a Final Subdivision Plat and Street Vacation to subdivide the site and initiate construction for the subject development. In November 2019, Planning Commission and City Council approved development text amendments and Preliminary Development Plans for Sub-Areas 2, 5 and 6.

The applicant is proposing to construct an approximate 6,070 square foot gas station and restaurant on the 1.88-acre site which is located in Sub-Area 6. Per the approved Zoning Text, this would be the only gas station allowed on the entire development site of Coughlin's Crossing. The gas station would be accessed by a right-in only curb cut on Penny Way and a full movement curb cut on Coughlin Lane which would be shared with the recently constructed Blue Sky Carwash. The gas station would have four fueling islands (8 gas pumps) and 48 parking spaces which would accommodate the gas station and restaurant. A dumpster would be located west of the building and storm water would be addressed in the development wide detention basin.

STAFF ANALYSIS

- **ZONING:** As previously mentioned, the subject property is zoned A-1 PMU which allows the proposed gas station with a Conditional Use Permit. Therefore, the proposed development would be required to have a Combined Preliminary and Final Development Plan and Conditional Use Permit approved by the Planning Commission and City Council. Per the approved Zoning Text, this would be the only gas station allowed on the entire development site of Coughlin's Crossing.
- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
- **ROADS AND ACCESS:** The development would be accessed by a right-in only curb cut on Penny Way and a full movement curb cut on Coughlin Lane which would be shared with the recently constructed Blue Sky Carwash. Per the City Engineer, the approval of the right-in only curb cut on Penny Way is conditional. If it is

found that motorists use the right-in only access point to exit the property, then the City reserves the right to require the right-in only access be closed at the expense of the property owner.

- **PEDESTRIAN CONNECTIVITY:** A bike path is located on the east side of Coughlin Lane that extends north of Penny Way. Therefore, there will not be sidewalks on the west side of Coughlin Lane and no sidewalks on each side of Penny Way per the approved infrastructure plan in 2017.
- **SITE CONFIGURATION:** The developer is proposing to construct an approximately 6,070 square foot gas station and restaurant with four fueling islands (8 gas pumps) that would front US23, Penny Way and Coughlin Lane. There would be an outdoor patio on the east elevation with tables and chairs. The subject development would have 48 parking spaces (while 31 parking spaces are required) located north, east and west of the building. The minimum building and parking setbacks for the entire development are more than required. A dumpster is located west of the building and the dumpster enclosure shall be constructed of brick or stone with wood doors painted or stained to match. The applicant is identifying two ice boxes and propane gas boxes on the north elevation. Staff would require the ice and propane boxes be painted to match the building because they are on the front elevation. No Video dispensers, ATM machines, or any other merchandise shall be permitted to be outside the building unless located within a defined designated area and buffered from public view.
- **TREE REMOVAL & REPLACEMENT:** There do not appear to be any qualifying trees (6 inches in caliper or larger) on the subject site (Lot 12722). The entire development is subject to the tree replacement requirements established with the approved development text and agreements. This site requires a payment in lieu of planting trees of \$8,499.48 (1.88 acres x \$4,521 per acre) prior to the approval of construction drawings.
- **LANDSCAPING & SCREENING:** The developments requires significant landscaping which includes US 23 mounding and landscaping, front yard trees, parking lot buffering, interior parking lot and foundation landscaping. Per the approved infrastructure plan in 2017, street trees shall be planted along Penny Way and Coughlin Lane by the Coughlin's Crossing site developer. The proposed development would require compliance with the approved US 23 Coughlin Crossing Landscape Plan (dated 4/26/19) that requires stone piers to be placed at regular intervals, street trees, a low 2-3 feet high undulating earthen mounding along with front yard trees (these trees maybe clustered to allow visibility). The parking lot perimeter landscaping of shrubs are appropriate along the north and east property lines, but the same shrubs would be required along the south property line adjacent to Blue Sky Carwash. Interior parking and foundation landscaping along with trees around the dumpster enclosure appear to achieve compliance with approved development text.
- **SIGNAGE:** The owner is proposing building, fuel canopy, and ground signage. The applicant is proposing an almost 26 square foot non-illuminated wall mounted box sign on the north, east and west elevations above the entrance doors. The red sign box is opaque, and the "SHEETZ" letters with gooseneck lights would illuminate the signs shall be consistent with the entire Coughlin Crossing development. On the fuel canopy, the applicant is proposing the same almost 26 square foot box sign (non-illuminated) on the west elevation on the underside of the canopy facing US 23. There is also a non-illuminated auto diesel sign located on the canopy column. A secondary sign for the Coughlin Crossing development is proposed on the southside of Penny Way fronting US 23 per the approved Comprehensive Sign Plan in 2016 (one other such sign is permitted on Meeker Way). The proposed sign would be 12 feet tall and 8.8 feet wide with a limestone base (1.5 feet high) and a vertical limestone column on the right side of the sign that extends to the height of the sign. The sign would have five sign panels with the top two panels allocated to Sheetz for their sign and gas prices which would be both internally illuminated (halo glow) per the approved Comprehensive Sign Plan. Staff recommends the monument base be extended up to three feet high for better exposure from the north because the proposed sign is located approximately 2 feet below the grade of Penny Way. Any directional on-site signage shall not be illuminated.
- **LIGHTING:** The applicant is proposing a comprehensive lighting plan with light poles, building lighting and under the canopy lighting. Any canopy lighting shall be recessed and cut off to ensure the light is very directionally located downward in the pump area only. The applicant is proposing 16 light poles throughout the site that shall not exceed 20 feet high with cut off style fixtures. Additionally, any light poles shall be black in color. Also, there would be several wall pack lights on the building and under the canopy lighting. The lighting plans would have to achieve compliance with the minimum zoning requirements and would have to be approved by the City.

- **BUILDING DESIGN:** The one story 6,077 square foot building would have four-sided architecture and would be consistent with the Coughlin Crossing development requirements. The main entrance into the building would be on the northeast portion of the building facing Penny Way and Coughlin Lane with the fuel canopies fronting Penny Way. The front elevation (north) would be comprised mainly of brick (Glen Gery Smoked Hickory color) with a limestone wainscoting (Estoneworks Ohio blue vein cut) with a typical aluminum storefront entrance door and windows with a flat roof. A red standing seam pitched metal roof would be located above the main entrance and each aluminum store front window would have a bronze standing seam metal awning. This design and materials would be consistent on all four elevations. The east elevation would be similar to the north elevation design with an aluminum storefront entrance door and windows and in building materials and color. The west elevation would have a secondary access door with a man door on southern portion of the elevation. The rear elevation (south) would have six fake opaque windows with a bronze standing seam metal awning to break up the wall space that would otherwise be present and uniform.

The canopy would be a flat with a minor pitch from east to west with a red ACM composite aluminum panel roof. The columns supporting the canopy would be comprised of limestone to 6 feet in height and then be a steel tube wrapped with a dark bronze ACE aluminum composite material that would extend to the canopy. Staff requires submittal of each building material with color samples to ensure compliance is achieved with any Final Development Plan requirements. Any mechanical equipment on the roof of the building shall be screen from public view. All building appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building color.

- **CONDITIONAL USE PERMIT:** Per the approved development text for Sub-Area 6 for a gas station, the Conditional Use Permit shall ensure design, location, orientation of structures, and quality consistency with this text and the overall development. Such use shall meet all requirements of the zoning code and be designed in a manner that substantially limits the views of fueling pumps form the public right-of-way. Any canopy or weather cover associated with this use shall be designed in a manner that is substantially similar with the overall development and shall not include exposed metal support columns. No more than one gas station (with or without convenience store) is permitted in the entire Coughlin's Crossing development.

STAFF RECOMMENDATION (2020-0417 – COMBINED PRELIMINARY & FINAL DEVELOPMENT PLAN)

Staff recommends approval of a request by Skilken Gold Real Estate Development for a Combined Preliminary and Final Development Plan for Sheetz located on Lot 12722 (within Sub-Area 6) of Coughlin's Crossing on approximately 1.88 acres located east of US 23 just south of Penny Way and zoned A-1 PMU with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. Per the City Engineer, the approval of the right-in only curb cut on Penny Way is conditional. If it is found that motorist use the right-in only access point to exit the property, then the City reserves the right to require the right-in only access be closed at the expense of the property owner.
3. The dumpster shall be screened from public view by a wall constructed of brick or stone that matches the new building with wood doors painted or stained to match or compliment the overall building.
4. The development shall require a payment in lieu of planting trees of \$8,499.48 (1.88 acres x \$4,521 per acre) prior to the approval of construction drawings to achieve compliance with Chapter 1168 Tree Preservation Requirements.
5. The proposed development shall require compliance with the US 23 Coughlin Crossing Landscape Plan (dated 4/26/19) that requires stone piers to be placed at regular intervals, street trees, a low 2-3 feet high undulating earthen mounding along with front yard trees (these trees maybe clustered to allow visibility).
6. The Shade Tree Commission shall review and approve the submitted street tree plans.
7. The limestone on the building, the stone canopy columns, and the ground sign bases shall be Delaware blue vein limestone (or cultured stone) or equivalent as approved by Staff.

8. All building and fuel canopy appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building material color.
9. All roof top mechanical equipment shall be completely screened from public view.
10. The Applicant shall submit all building, fuel canopy, and sign elevations with material and color samples for staff review and approval after approval of the Final Development Plan and prior to any building permit issuance.
11. The building and canopy signage shall not be internally illuminated.
12. The sign base shall be three feet high for better exposure from the north because the proposed sign is located approximately two feet below the grade of Penny Way.
13. A lighting plan that achieves compliance with the zoning code shall be submitted, reviewed and approved by the City. All lights shall be fully recessed and cut off and the light poles shall be black.
14. The two ice boxes and propane cages on the north elevation shall be painted to match the building.
15. No Video dispensers, ATM machines, or any other merchandise shall be permitted to be outside the building unless located within a defined designated area and buffered from the public right-of-way.
16. The development shall achieve compliance with Fire Department requirements.

STAFF RECOMMENDATION (2020-0418 – CONDITIONAL USE PERMIT)

Staff recommends approval of a request Skilken Gold Real Estate Development for a Conditional Use Permit for Sheetz located on Lot 12722 (within Sub-Area 6) of Coughlin’s Crossing on approximately 1.88 acres located east of US 23 just south of Penny Way and zoned A-1 PMU, with the following condition that:

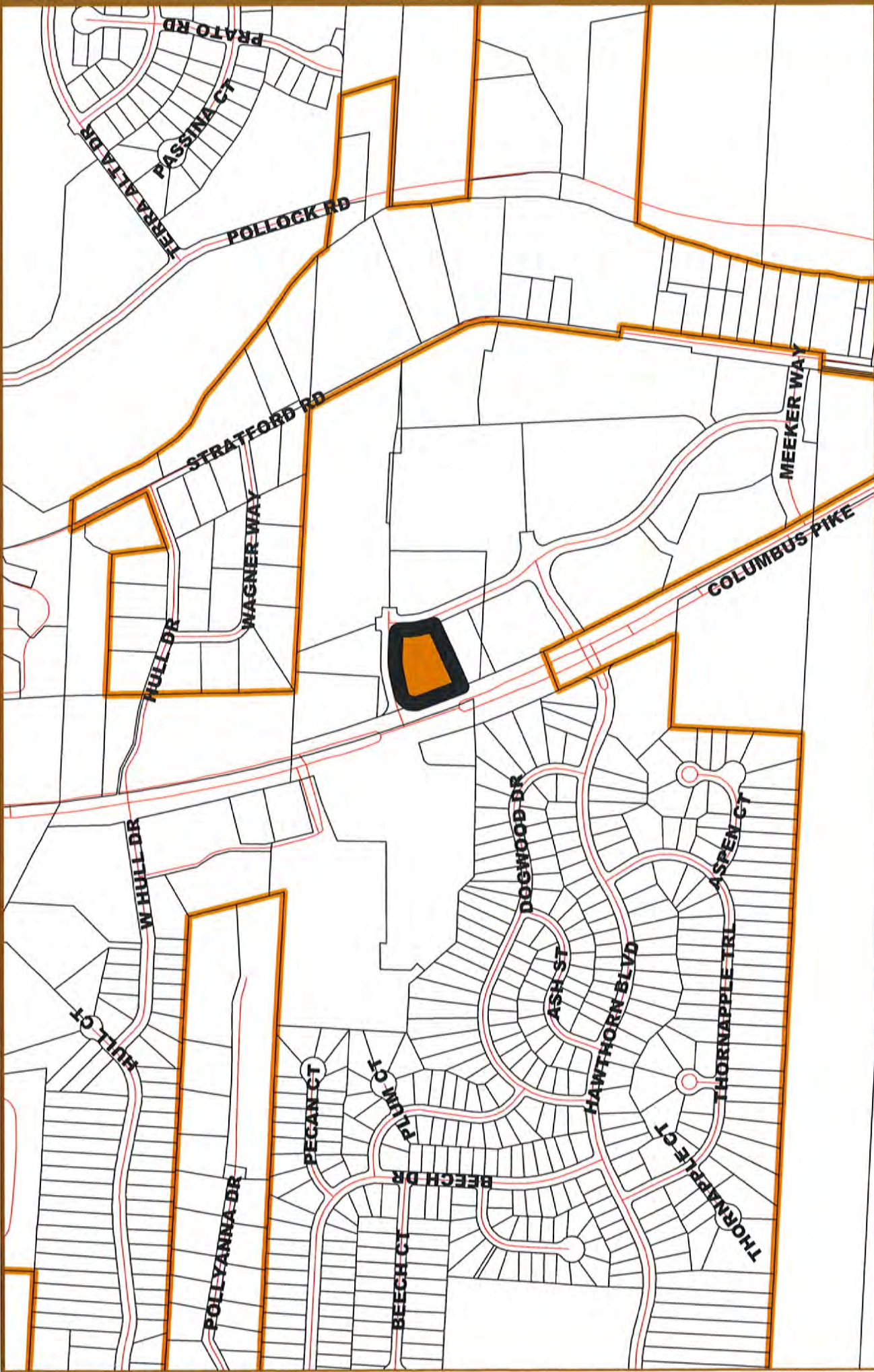
1. No other gas stations shall be permitted within the Coughlin’s Crossing development (all Sub-Areas) per the approved development text.

COMMISSION NOTES:

MOTION: _____ 1st _____ 2nd approved denied tabled _____

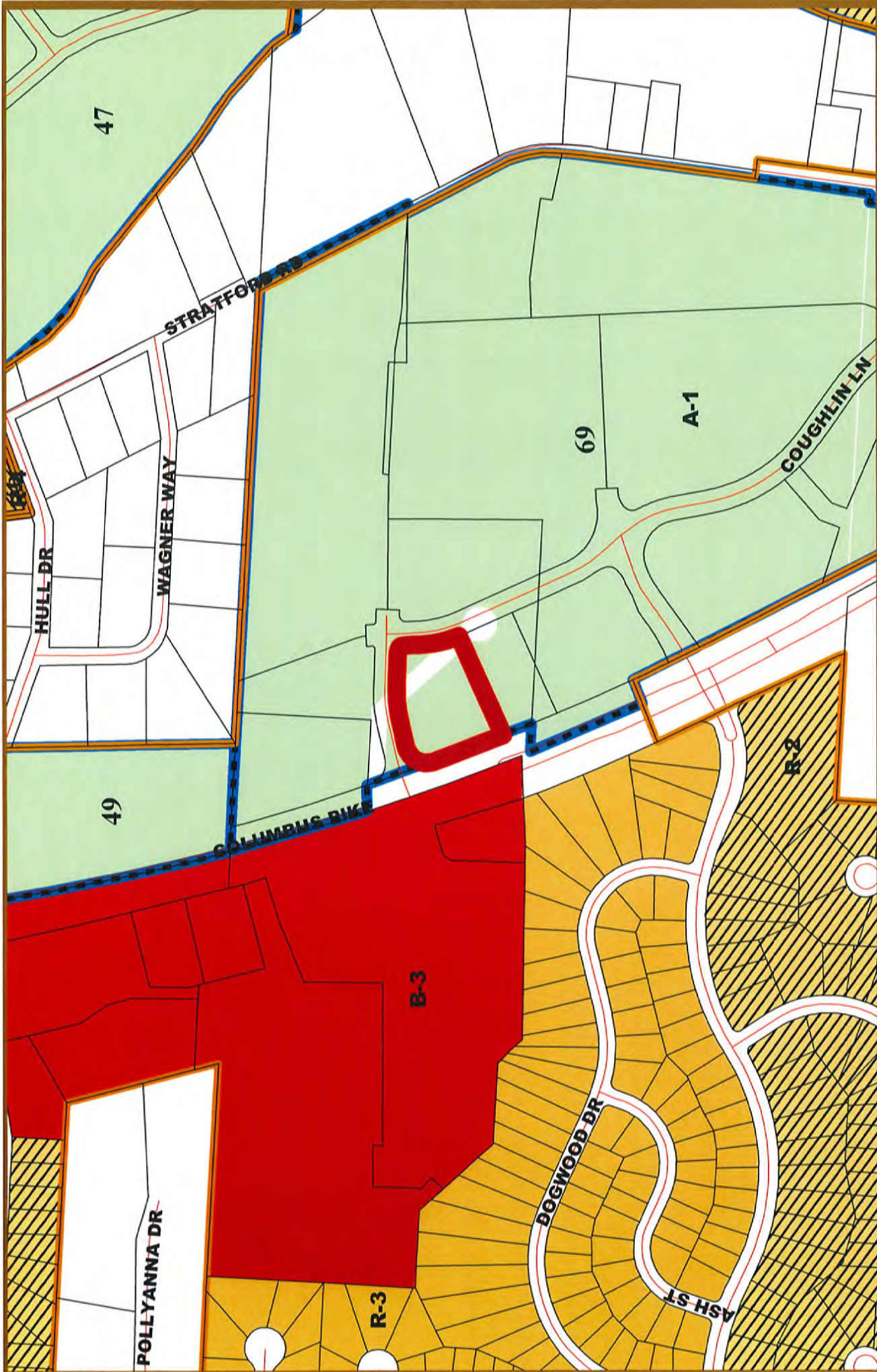
CONDITIONS/MISCELLANEOUS:

FILE:
ORIGINAL: 05/27/20
REVISED:



2020-0417-0418
 Conditional Use Permit & Preliminary Development Plan
 Sheetz - Coughlin's Crossing Lot 12722
 Location Map



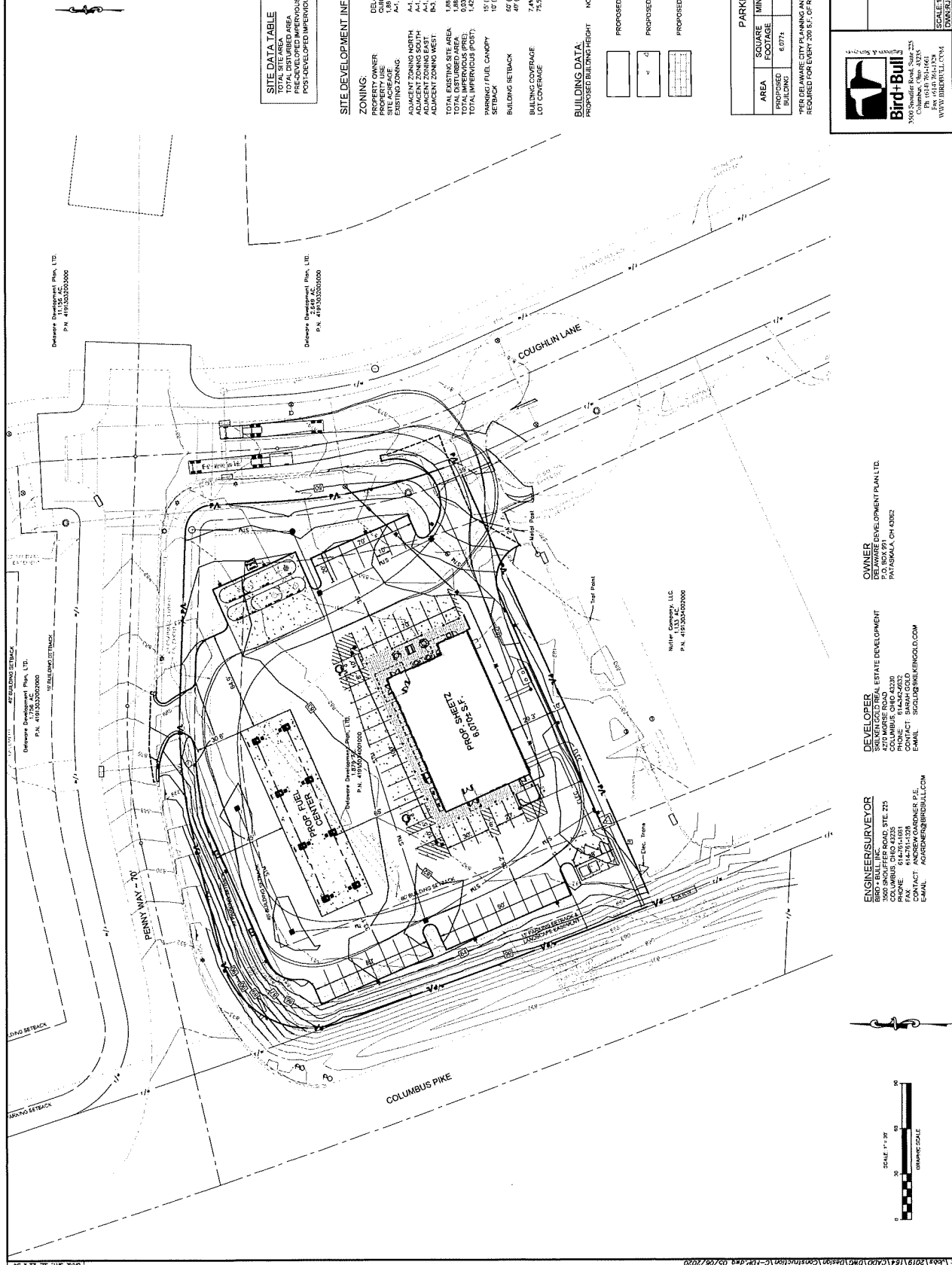
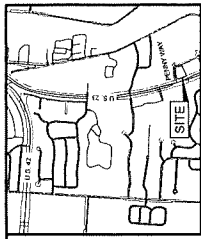


2020-0417-0418
 Conditional Use Permit & Preliminary Development Plan
 Sheetz - Coughlin's Crossing Lot 12722
 Zoning Map



2020-0417-0418
Conditional Use Permit & Preliminary Development Plan
Sheetz - Coughlin's Crossing Lot 12722
Aerial (2016) Map





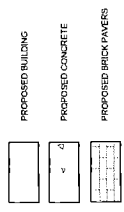
SITE DATA TABLE

TOTAL SITE AREA	1.88 AC.
TOTAL DISTURBED AREA	0.88 AC.
TOTAL UNDISTURBED AREA	1.00 AC.
POST-DEVELOPED IMPERVIOUS	1.42 AC.

SITE DEVELOPMENT INFORMATION

ZONING:
 DELAWARE DEVELOPMENT PLAN LTD.
 1.88 AC. COMMERCIAL RESTAURANT WHITFIELD CENTER
 1.88 AC. A-1 AGRICULTURAL DISTRICT / PAUL PLANNED MIXED USE
 ADJACENT ZONING NORTH
 ADJACENT ZONING EAST
 ADJACENT ZONING WEST
 TOTAL EXISTING SITE AREA
 TOTAL UNDISTURBED AREA
 TOTAL IMPERVIOUS (PRE-DEVELOP)
 1.88 ACRES
 0.88 ACRES
 1.42 ACRES
 15' (R.S. 23)
 10' (REAR / INTERNAL ROADS)
 60' (L.S. 23) / REAR
 40' (INTERNAL ROADS)
 7.4%
 7.5%

BUILDING DATA:
 PROPOSED BUILDING HEIGHT NOT TO EXCEED 45 FEET



PARKING CALCULATIONS

AREA	SQUARE FOOTAGE	MIN. PARKING PROVIDED	TOTAL PARKING PROVIDED	PARKING RATIO
PROPOSED BUILDING	6,074	31	48	7,207/100 S.F.
PROPOSED BRICK/PAVERS	11,271	57	112	112/1,000 S.F.

*PER DELAWARE CITY PLANNING AND ZONING CODE, CHAPTER 1161, 1 SPACE IS REQUIRED FOR EVERY 200 S.F. OF RETAIL AND SERVICE ESTABLISHMENT SPACE.

Bird-Bull
 3500 Sandusky Road, Suite 225
 Columbus, Ohio 43224
 PH: 614.875.1274
 WWW.BIRDBULL.COM

SHEET 5
 PENNY WAY
 DELAWARE, OHIO 43015

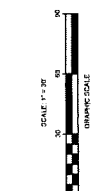
FINAL DEVELOPMENT PLAN

SCALE: 1" = 30'
 DATE: 05/06/2020
 JOB NO: 152474
 1

OWNER:
 DELAWARE DEVELOPMENT PLAN LTD.
 P.O. BOX 991
 PATASKALA, OH 43082

DEVELOPER:
 ESTATE DEVELOPMENT
 4270 MORSE ROAD
 COLUMBUS, OHIO 43230
 CONTACT: SARAH GOLD
 E-MAIL: SGOLD@SHULKHOLDO.COM

ENGINEER/SURVEYOR:
 ANDREW GARDNER P.E.
 3500 SANDUSKY ROAD, STE. 225
 COLUMBUS, OHIO 43230
 PHONE: 614-751-1274
 FAX: 614-751-1274
 E-MAIL: ANDREW@BIRDBULL.COM



GENERAL DEMOLITION NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL, STATE AND FEDERAL PERMITS REQUIRED FOR DEMOLITION WORK.
2. THE CONTRACTOR SHALL IDENTIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FROM ALL LIABILITY ARISING FROM THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
3. EXISTING CONDITIONS AS DESCRIBED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL OR PLUMBING WORK. THE CONTRACTOR SHALL BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BEING ON THE DEMOLITION SITE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
4. ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE REMOVED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL WELLS, WELLS AND FOOTINGS.
5. ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DEPOSITED AT A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
6. ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
7. THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS THE CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
8. UTILITY CONTACTS ARE LISTED ON THE TITLE SHEET.
9. EROSION AND SEDIMENTATION CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE INSTALLED PRIOR TO INITIATION OF DEMOLITION ACTIVITIES. REFER TO EES PLAN FOR DETAILS.
10. ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED ASBESTOS REMOVAL CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
11. THE CONTRACTOR SHALL PROTECT ALL UTILITIES, MAINTAIN PROPERTY CORNERS AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF INSURED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT AN ADDITIONAL COST TO THE OWNER.
12. CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT AROUND UTILITIES.
13. CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH THE DISTRICT HIGHWAY DEPARTMENT STANDARDS, AND AS REQUIRED BY LOCAL AND/OR STATE AGENCIES REGARDING THE PROTECTION OF ADJACENT PROPERTIES ASSIGNED WITH TRAFFIC CONTROL AND MAINTAINING NECESSARY CONVICTIONS.
14. CONTRACTOR SHALL PROTECT ALL EXISTING ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION ACTIVITIES.
15. DEMOLITION CONTRACTOR SHALL COORDINATE WITH THE OWNER REGARDING ANY ADJACENT DAYS PRIOR TO ANTICIPATED DEMOLITION OF STRUCTURES.
16. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.

LAYOUT NOTES:

1. CONTRACTOR SHALL REFER TO THE SHEET ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRIES, BUILDING DIMENSIONS, ROOF LEADER, EXIT DOORS, EXIT RAMPS AND PORCHES.
2. ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
3. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF TRAFFIC SIGNS AND PAVERS, MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
4. ALL NON-LANDSCAPED BLANKS SHALL BE PAINTED WITH STRIPES 4" WIDE AT 45° AND 2 FEET OC.
5. ALL STRIPING SHALL BE 4" WIDE UNLESS NOTED OTHERWISE.
6. CONTRACTOR SHALL COORDINATE FINAL LOCATION OF THE PYLON SIGN WITH SHEETZ. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.

GRADING NOTES:

1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY BIRD-BULL, INC. THE CURRENT REQUIREMENTS OF THE CITY OF DELAWARE, THE APPLICABLE CURRENT EDITION, FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
2. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICES GOVERNING SAFETY AND HEALTH.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. THE CONTRACTOR SHALL BE FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
4. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROBE AUTHORITIES. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OF THE PROTECTION SERVICES AT 800-362-9794 OR 811. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND NOT TO BE TAKEN AS EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
5. ALL EXISTING TREES, VEGETATION, PAVEMENTS, CONCRETE FOUNDATIONS, AND STRUCTURES SHALL BE IDENTIFIED AND REMOVED FROM NEW CONSTRUCTION AREAS UNLESS NOTED OTHERWISE.

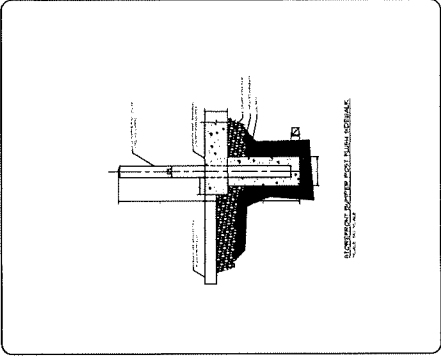
6. ALL SLOPES SHALL BE 2:1 HORIZONTAL, VERTICAL MAXIMUM UNLESS NOTED OTHERWISE. ALL SLOPES GREATER THAN 3:1 TO PERMANENTLY STABILIZED WITH LANDSCAPE PLANTS.
7. AN ASBUILT DRAWING OF NEW UTILITY SERVICES MUST BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
8. ALL AREAS NOT PAVED SHALL BE TOP SOILED, SEED, MULCHED OR LANDSCAPED UNLESS OTHERWISE NOTED ON THE CONSTRUCTION DRAWINGS. SITE SPECIFICATIONS OR INDICATED BY THE OWNER.
9. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT PREPARED BY GCI PLANS TO INITIATION OF ANY GEOTECHNICAL ACTIVITY.
10. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.

STORMWATER MANAGEMENT NOTES:

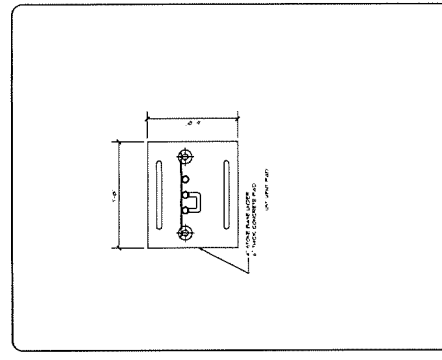
1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY BIRD-BULL, INC. THE CURRENT REQUIREMENTS OF THE CITY OF DELAWARE, THE APPLICABLE EDITION, FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
2. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICES GOVERNING SAFETY AND HEALTH.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. THE CONTRACTOR SHALL BE FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
4. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROBE AUTHORITIES. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OF THE PROTECTION SERVICES AT 800-362-9794 OR 811. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND NOT TO BE TAKEN AS EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
5. CONTRACTOR SHALL COORDINATE PUMP ISLAND CANOPY DRAINS CONNECTION TO THE MAIN COLLECTOR PIPE WITH SHEETZ AND PROVIDE ALL NECESSARY FITTINGS TO MAKE THE CONNECTION TO THE MAIN COLLECTOR PIPE.
6. CONTRACTOR TO PROVIDE SHOP DRAWINGS ON ALL STORM SEWER MANHOLES AND PAVES.
7. AN ASBUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
8. ALL STORM PIPE SHALL BE AS SPECIFIED. ALL JOINTS SHALL BE WATER-TIGHT.
9. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.

UTILITY NOTES:

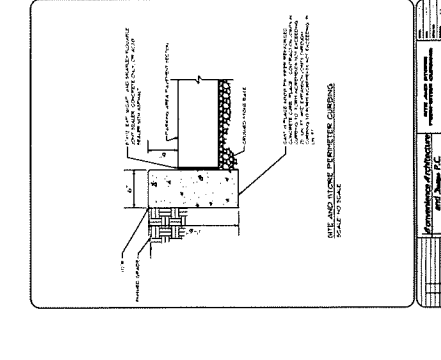
1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY BIRD-BULL, INC. THE CURRENT REQUIREMENTS OF THE CITY OF DELAWARE, THE APPLICABLE EDITION, FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
2. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICES GOVERNING SAFETY AND HEALTH.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. THE CONTRACTOR SHALL BE FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
4. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROBE AUTHORITIES. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES OF THE PROTECTION SERVICES AT 800-362-9794 OR 811. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND NOT TO BE TAKEN AS EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE WITH ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS, INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITIES CONSTRUCTION.
6. THE CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES PRIOR TO THE SUBMISSION OF ALL PROPOSED UTILITIES TO SHEETZ STORE. ADD CAN WASH ONE PROPOSED FOR SITE.
7. CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES PRIOR TO THE SUBMISSION OF ALL PROPOSED UTILITIES TO SHEETZ STORE. ADD CAN WASH ONE PROPOSED FOR SITE.
8. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
9. AN ASBUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
10. UTILITY COMPANIES AND CONTACTS ARE LISTED ON SHEET 1.
11. CONSULT LOCATIONS TO PYLON SIGNS AND SITE LIGHT POLES TO BE COORDINATED WITH SHEETZ SUPERINTENDENT.
12. CONTRACTOR SHALL COORDINATE WITH SHEETZ SUPERINTENDENT ON LOCATION AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. THE CONTRACTOR SHALL BE FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
13. CONTRACTOR SHALL COORDINATE WITH SHEETZ ON CONDUIT ROUTE TO STORE FROM THE TRANSFORMER AND/OR SERVICE UTILITY POLE FOR TELEPHONE AND ELECTRICAL SERVICE.
14. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.



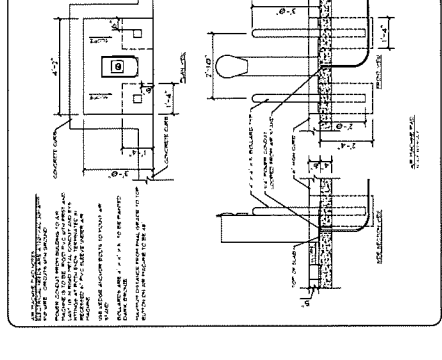
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01/15/2020	ISSUED FOR CONSTRUCTION
01/15/2020	ISSUED FOR ASBUILT



DATE	DESCRIPTION
01/15/2020	ISSUED FOR PERMIT
01/15/2020	ISSUED FOR CONSTRUCTION
01/15/2020	ISSUED FOR ASBUILT



DATE	DESCRIPTION
01/15/2020	ISSUED FOR PERMIT
01/15/2020	ISSUED FOR CONSTRUCTION
01/15/2020	ISSUED FOR ASBUILT



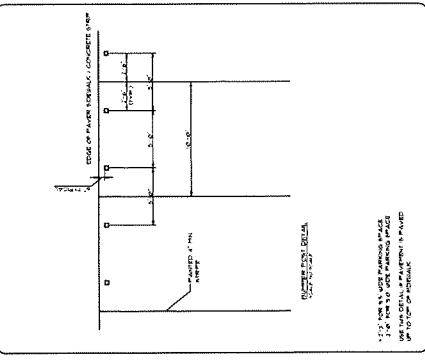
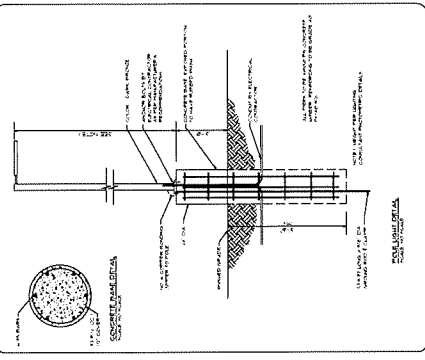
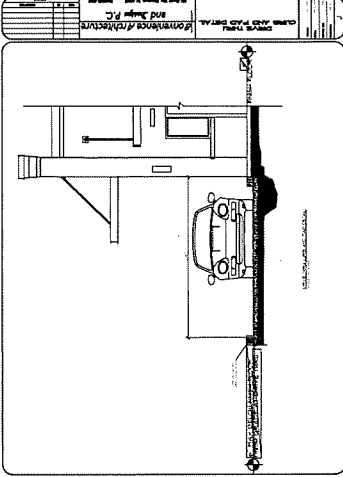
DATE	DESCRIPTION
01/15/2020	ISSUED FOR PERMIT
01/15/2020	ISSUED FOR CONSTRUCTION
01/15/2020	ISSUED FOR ASBUILT



SHEETZ
PENNY WAY
DELAWARE, OHIO 43015

**SHEETZ GENERAL NOTES
AND DETAILS**

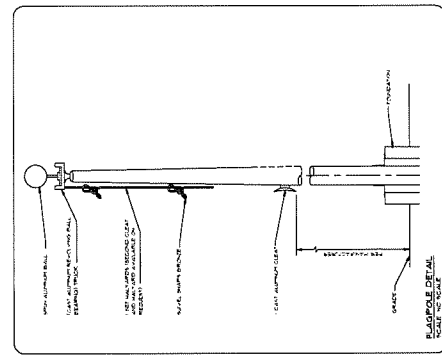
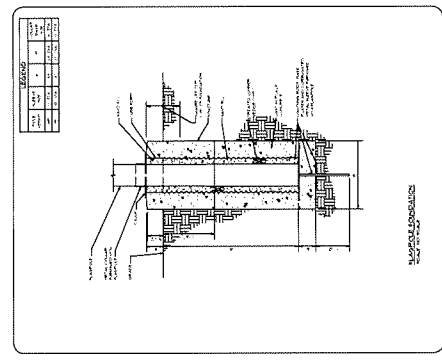
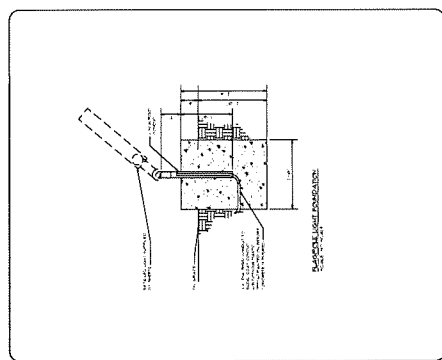
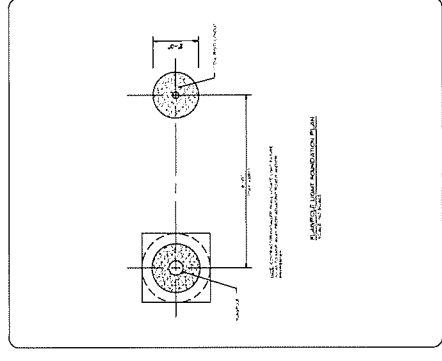
SCALE: 1/4" = 1'-0"
DATE REVISIONS: []
JOB NO.: []
SHEET: 4



DATE	DESCRIPTION

DATE	DESCRIPTION

DATE	DESCRIPTION




DATE	DESCRIPTION

DATE	DESCRIPTION

DATE	DESCRIPTION

DATE	DESCRIPTION

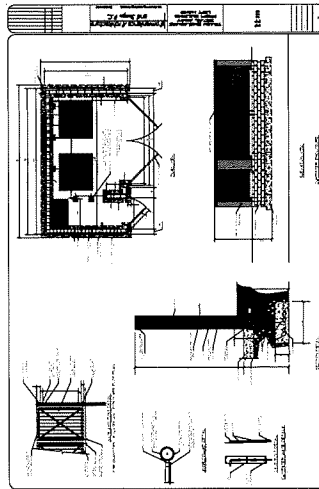
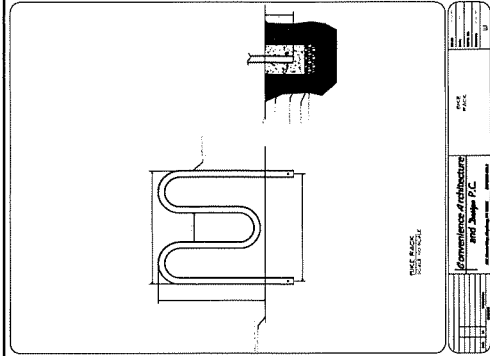
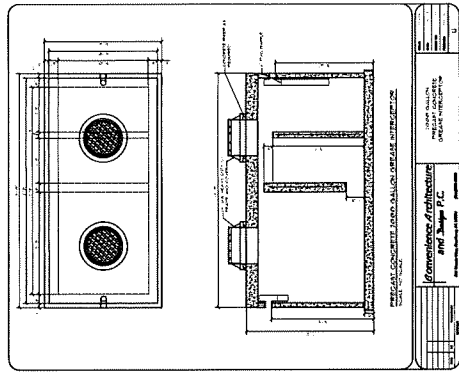
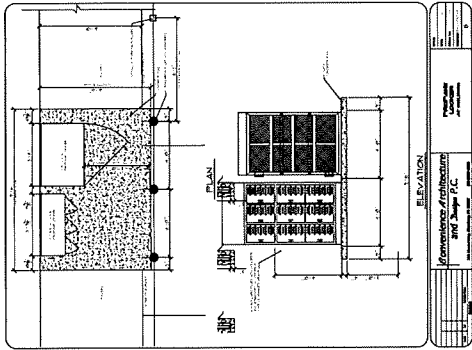
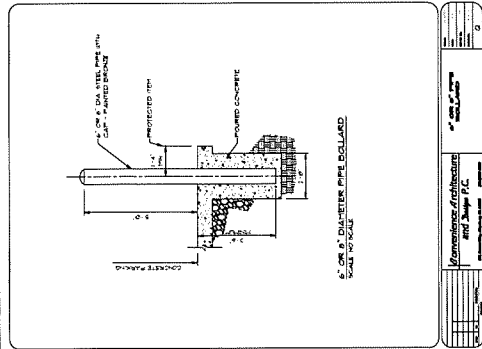


Bird+Bull
 1000 N. GUYTON AVENUE, SUITE 100
 WILMINGTON, DE 19801-3000
 TEL: 302.441.1000 FAX: 302.441.1001
 WWW.BIRDBULL.COM

SHEETZ
 PENNY WAY
 DELAWARE, OHIO 43015

SHEETZ DETAILS (CONT.)

SCALE: 1/4" = 1'-0"
 DRAWING: DATE: 05/06/2020
 JOB NO.: 19-004
 SHEET: 5



SHEETZ
 PENNY WAY
 DELAWARE, OHIO 43015

SHEETZ DETAILS (CONT.)

SCALE: 1/4" = 1'-0"
 OWNER: BIRD+BULL

JOB NO.: 18-104
 DATE: 05/08/2020

Bird+Bull
 ARCHITECTURE & INTERIORS
 225
 Columbus, Ohio 43215
 Ph: (614) 361-1104
 Fax: (614) 361-1104
 WWW.BIRDBULL.COM

SURVEYOR'S NOTES

SPECIAL INSTRUCTIONS: The survey was conducted in accordance with the provisions of the Ohio Revised Code, Chapter 303, and the rules and regulations of the Board of Surveyors. The survey was conducted in accordance with the provisions of the Ohio Revised Code, Chapter 303, and the rules and regulations of the Board of Surveyors. The survey was conducted in accordance with the provisions of the Ohio Revised Code, Chapter 303, and the rules and regulations of the Board of Surveyors.

GENERAL NOTES: The survey was conducted in accordance with the provisions of the Ohio Revised Code, Chapter 303, and the rules and regulations of the Board of Surveyors. The survey was conducted in accordance with the provisions of the Ohio Revised Code, Chapter 303, and the rules and regulations of the Board of Surveyors. The survey was conducted in accordance with the provisions of the Ohio Revised Code, Chapter 303, and the rules and regulations of the Board of Surveyors.

ADDITIONAL NOTES: The survey was conducted in accordance with the provisions of the Ohio Revised Code, Chapter 303, and the rules and regulations of the Board of Surveyors. The survey was conducted in accordance with the provisions of the Ohio Revised Code, Chapter 303, and the rules and regulations of the Board of Surveyors. The survey was conducted in accordance with the provisions of the Ohio Revised Code, Chapter 303, and the rules and regulations of the Board of Surveyors.

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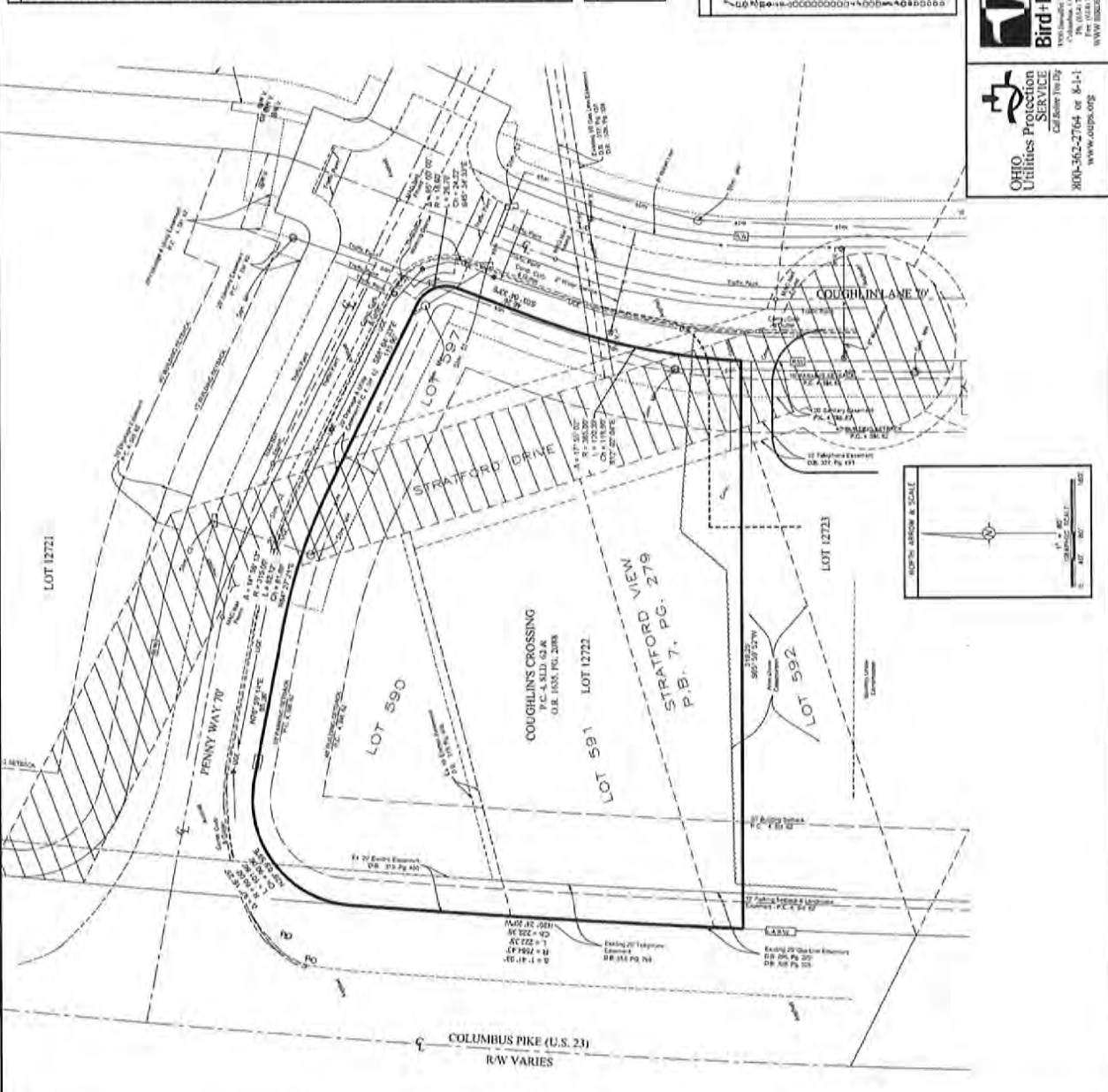
ADDITIONAL NOTES: The survey was conducted in accordance with the provisions of the Ohio Revised Code, Chapter 303, and the rules and regulations of the Board of Surveyors. The survey was conducted in accordance with the provisions of the Ohio Revised Code, Chapter 303, and the rules and regulations of the Board of Surveyors. The survey was conducted in accordance with the provisions of the Ohio Revised Code, Chapter 303, and the rules and regulations of the Board of Surveyors.

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ALLEGATIONS AND SYMBOLS

Symbol	Description
(Symbol)	Surveyed boundary
(Symbol)	Unsurveyed boundary
(Symbol)	Right-of-way boundary
(Symbol)	Property boundary
(Symbol)	...

DELaware DEVELOPMENT PLAN, LTD.
ALTAIRSPS LAND TITLE SURVEY
AT THE SE CORNER OF COLUMBUS PIKE
(S.R. 23) AND PENNY WAY,
CITY OF DELAWARE, DELAWARE CO., OHIO



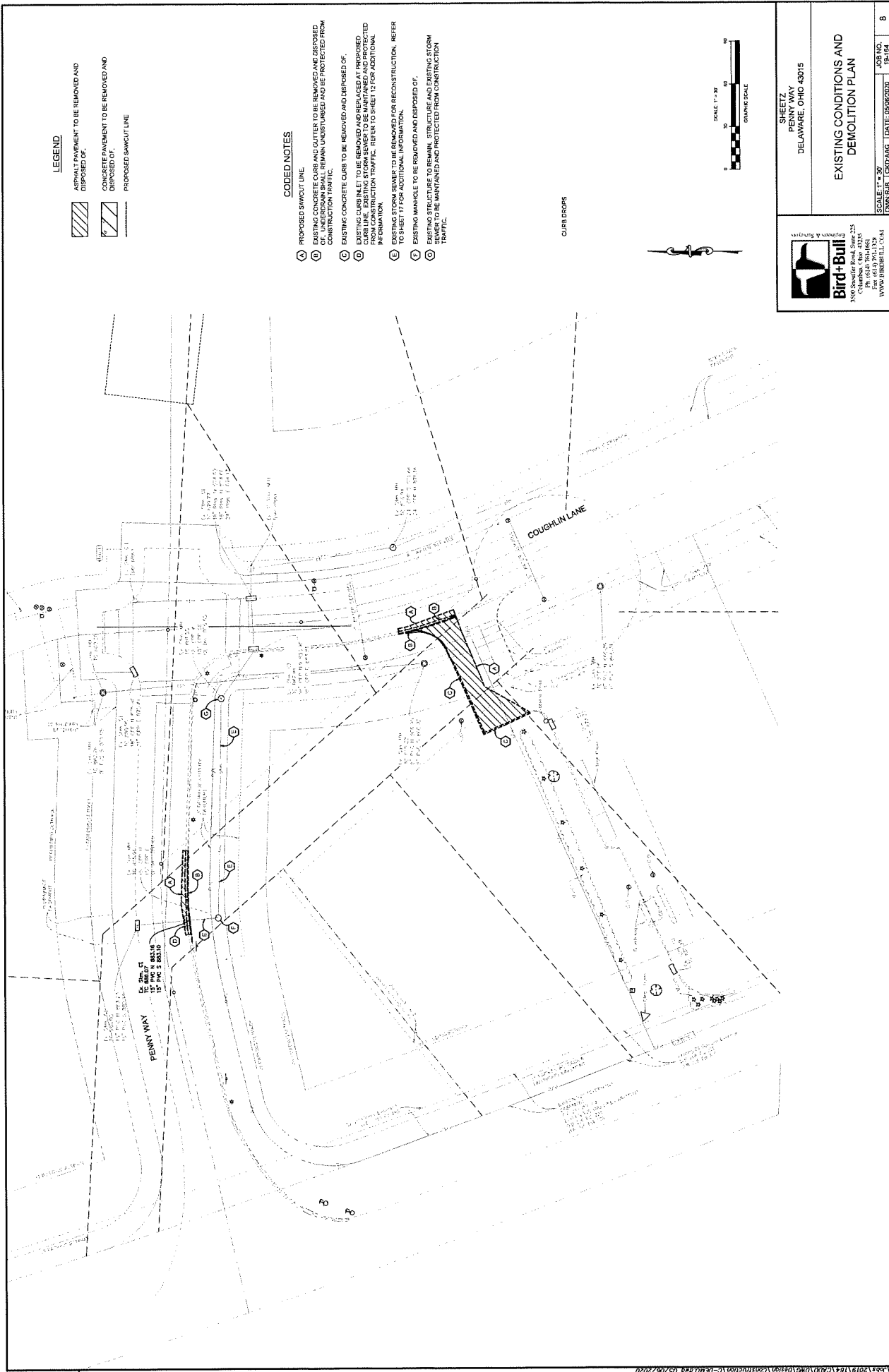
SCHEDULE 'B' ITEMS

FIRST ALTAIRSPS LAND TITLE SURVEY COMPANY
EFFECTIVE DATE: AUGUST 04, 2019 AT 7:00 A.M.

Item 1 - 1000 sq. ft. of land...
Item 2 - 1000 sq. ft. of land...
Item 3 - 1000 sq. ft. of land...
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Item 99 - 1000 sq. ft. of land...
Item 100 - 1000 sq. ft. of land...

Bird + Bull
SURVEYING & ENGINEERING
7810 S. STATE ST. #100
COLUMBUS, OHIO 43228
WWW.BIRDBULL.COM

OHIO Utilities Protection SERVICE
Call Before You Dig
800-363-2764 or 8-1-1
WWW.OUDPS.ORG



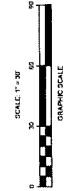
LEGEND

-  ASPHALT PAVEMENT TO BE REMOVED AND DISPOSED OF.
-  CONCRETE PAVEMENT TO BE REMOVED AND DISPOSED OF.
-  PROPOSED SAWCUT LINE

CODED NOTES

- A PROPOSED SAWCUT LINE.
- B EXISTING CONCRETE CURB AND GUTTER TO BE REMOVED AND DISPOSED OF. ALL REMAINING CURB SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM CONSTRUCTION TRAFFIC.
- C EXISTING CONCRETE CURB TO BE REMOVED AND DISPOSED OF.
- D EXISTING CURB INLET TO BE REMOVED AND REPLACED AS PROPOSED FROM CONSTRUCTION TRAFFIC. REFER TO SHEET 12 FOR ADDITIONAL INFORMATION.
- E EXISTING STORM SEWER TO BE REMOVED FOR RECONSTRUCTION. REFER TO SHEET 11 FOR ADDITIONAL INFORMATION.
- F EXISTING MANHOLE TO BE REMOVED AND DISPOSED OF.
- G EXISTING STRUCTURE TO REMAIN. STRUCTURE AND EXISTING STORM SEWER TO BE MAINTAINED AND PROTECTED FROM CONSTRUCTION TRAFFIC.

CURB DROPS

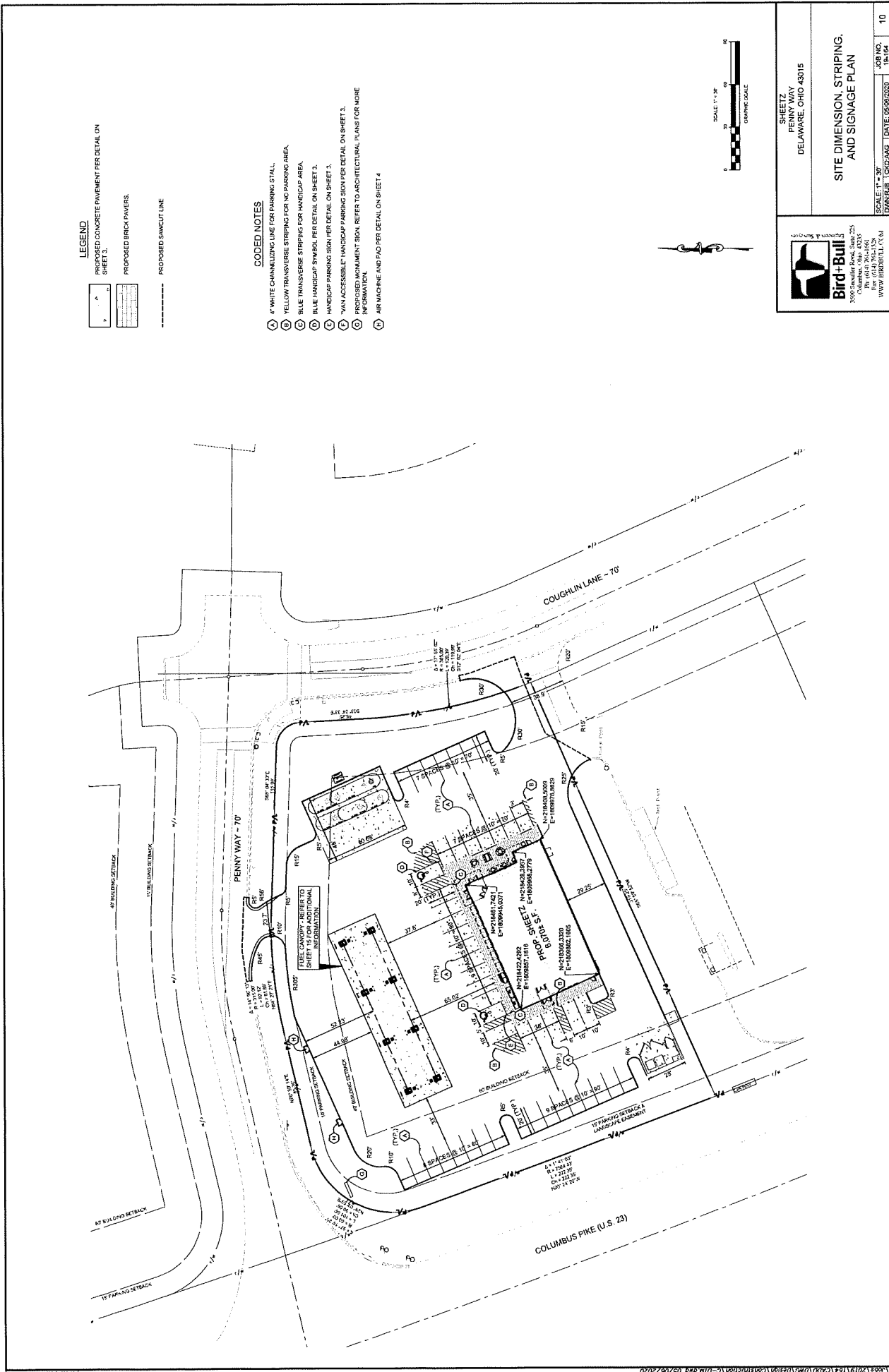


Bird+Bull
 ARCHITECTS & ENGINEERS
 10000 W. 12th Street, Suite 200
 Columbus, Ohio 43224
 Tel: (614) 964-1864
 WWW.BIRDBULL.COM

SHEETZ
 PENNY WAY
 DELAWARE, OHIO 43015

EXISTING CONDITIONS AND DEMOLITION PLAN

SCALE: 1" = 30'
 DWG: RIB 11072463 | DATE: 05/06/2020 | JOB NO.: 18-104 | 8



LEGEND

PROP. CONCRETE PAVEMENT PER DETAIL ON SHEET 1

PROP. BRICK PAVERS

PROP. SMCUT LINE

CODED NOTES

① WHITE CHANNELING LINE FOR PARKING STALL

② YELLOW TRANSVERSE STRIPING FOR NO PARKING AREA

③ BLUE TRANSVERSE STRIPING FOR HANDICAP AREA

④ BLUE HANDICAP SYMBOL PER DETAIL ON SHEET 2

⑤ HANDICAP PARKING SIGN PER DETAIL ON SHEET 3

⑥ VAN ACCESSIBLE HANDICAP PARKING SIGN PER DETAIL ON SHEET 3

⑦ PROPOSED MONUMENT SIGN. REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION

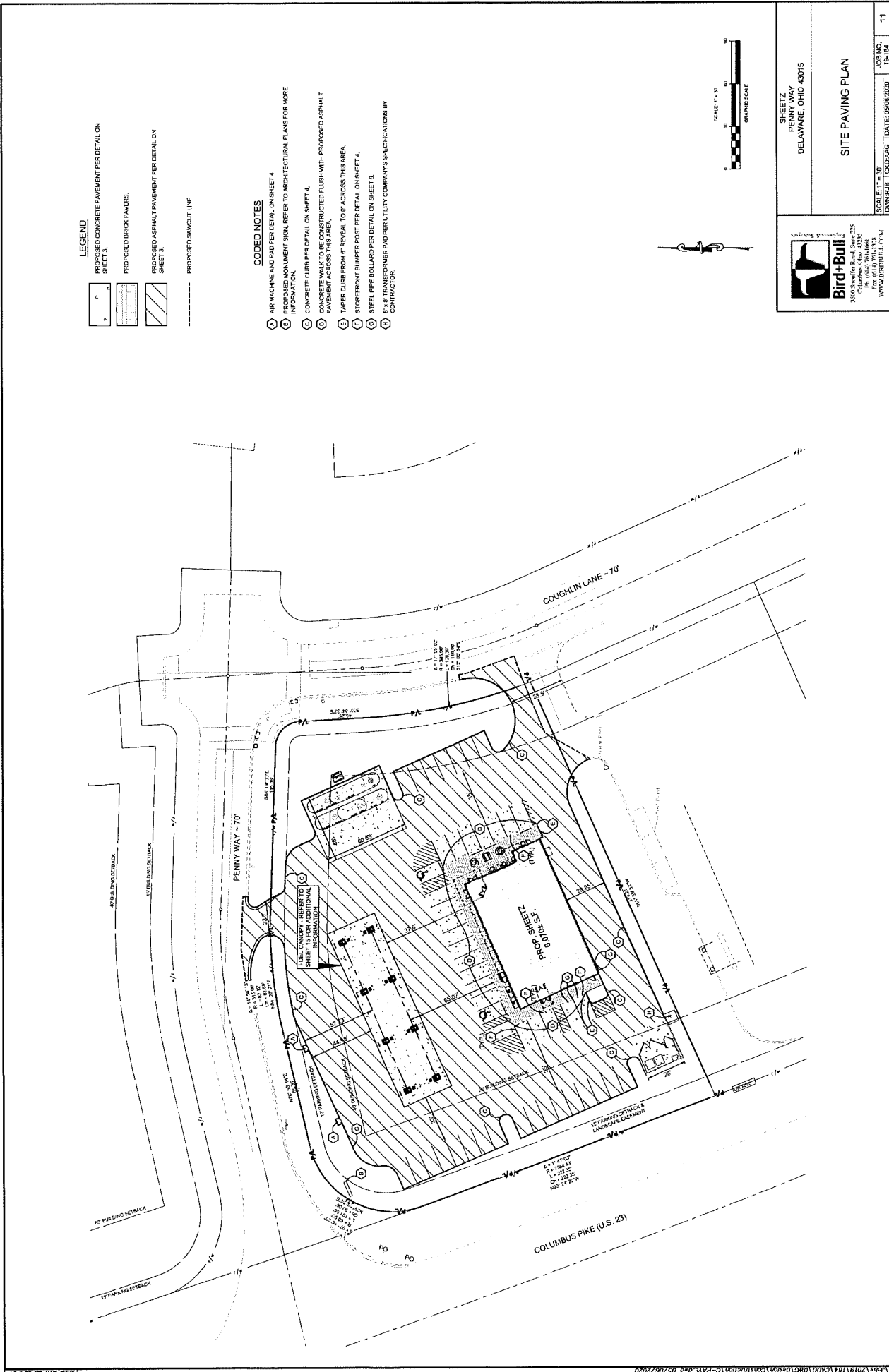
⑧ AIR MICHIGNE AND PAD PER DETAIL ON SHEET 4

Bird+Bull
 ARCHITECTS
 10000 W. 12th St., Suite 205
 Columbus, Ohio 43228
 Ph: (614) 761-1661
 WWW.BIRDBULL.COM

SHEETZ
 PENNY WAY
 DELAWARE, OHIO 43015

**SITE DIMENSION, STRIPING,
 AND SIGNAGE PLAN**

SCALE: 1" = 30'
 DWG# 208 - 102345 - DATE: 05/06/2020
 JOB NO. 18-04
 10



- LEGEND**
- PROPOSED CONCRETE PAVEMENT PER DETAIL ON SHEET 4.
 - PROPOSED BRICK PAVERS.
 - PROPOSED ASPHALT PAVEMENT PER DETAIL ON SHEET 4.
 - PROPOSED SAWCUT LINE.

CODED NOTES

- 1 AIR MACHINE AND PAD PER DETAIL ON SHEET 4.
- 2 PROPOSED MONUMENT SIGN, SEE EX TO ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 3 CONCRETE CURB PER DETAIL ON SHEET 4.
- 4 ASPHALT MARK TO BE CONSTRUCTED FLUSH WITH PROPOSED ASPHALT PAVEMENT ACCESS THIS AREA.
- 5 TAPER CURB FROM 6" REVEAL TO 0" ACROSS THIS AREA.
- 6 STOREFRONT BUMPER POST PER DETAIL ON SHEET 4.
- 7 STEEL FIRE BOLLARD PER DETAIL ON SHEET 6.
- 8 8" X 8" TRANSFORMER PAD PER UTILITY COMPANY'S SPECIFICATIONS BY CONTRACTOR.

Bird-Bull
 225
 Columbus, Ohio 43221
 PA 614.763.1464
 WWW.BIRDBULL.COM

SHEETZ
 PENNY WAY
 DELAWARE, OHIO 43015

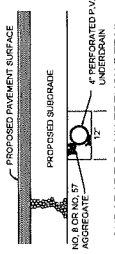
SITE PAVING PLAN

SCALE: 1" = 30'
 OWNER: [redacted] | DATE: 05/26/2020 | JOB NO.: 19-04 | 11

STORM AND GRADING LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING STORM MANHOLE
- PROPOSED STORM MANHOLE
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- STORM STRUCTURE NUMBER
- EXISTING SANITARY MANHOLE
- PROPOSED SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING VALVE
- PROPOSED VALVE
- INDICATES DIRECTION OF MAJOR FLOOD ROUTING GREATER THAN 100' - YEAR STORM

CODED NOTES



- (A) INSTALL 10 FOOT LENGTHS WHERE ALLOWABLE OF 4" PERFORATED P.V.C. DETAIL THE UNDERDRAIN IS TO BE INSTALLED AT A 1.0% GRADE TOWARD THE STRUCTURE WITH THE UPSTREAM END PLUGGED AND THE INVERT AT THE STRUCTURE. THE UNDERDRAIN SHALL BE PROTECTED FROM CONSTRUCTION TRAFFIC AFTER INSTALLATION.
- (B) BRICK PAVERS TO BE CONSTRUCTED FLUSH WITH PROPOSED CONCRETE PAVEMENT ACROSS THIS AREA.
- (C) TAPER CURB FROM 4" REVEAL TO 0" ACROSS THIS AREA.
- (D) MAINTAIN 18" OF VERTICAL CLEARANCE OUTSIDE OF PIPE TO OUTSIDE OF PAVED BETWEEN PROPOSED STORM AND UTILITY.
- (E) CORE DRILL PROPOSED 18" STORM SEWER INTO EXISTING MANHOLE. PROPOSED INVERT = 876.65. MAINTAIN ALL EXISTING FLOWS.
- (F) CORE DRILL PROPOSED ROOF DRAIN INTO PROPOSED STRUCTURE.
- (G) CURB INLET TO BE REMOVED AND REPAIRED AT PROPOSED CURBLINE. EXTEND EXISTING 15" STORM SEWER INTO PROPOSED STRUCTURE AND MAINTAIN EXISTING SLOPE. MAINTAIN ALL EXISTING FLOWS.
- (H) EXISTING 18" STORM SEWER TO BE RECONSTRUCTED. REFER TO SHEET 17 FOR PROPOSED INVERT AND SLOPE INFORMATION.

STORM STRUCTURE COORDINATE TABLE

#	NORTHING	EASTING	NORTHING	EASTING
1	218523.862	1810042.6080	1810043.6403	
2	218505.749	1810001.8048		
3	218487.8235	1810017.7776		
4	218382.2884	1809992.0796		
5	218300.1251	1809785.5377		
6	218233.6255	1809582.2259		
7	218249.8255	1809718.0259		
8	218207.4255	1809262.0270		
9				

STORM STRUCTURE BEARING AND DISTANCE TABLE

STRUCTURE	BEARING	DISTANCE
1-2	N82°07'04"E	6.67'0"
2-3	N25°29'25"E	41.92'
2-4	N25°29'25"E	81.53'
2-5	N43°23'33"E	271.18'
3-4	N27°22'28"W	133.01'
3-5	N27°22'28"W	86.07'
4-5	N85°59'31"E	86.42'

NOTE: ROOF DRAINS TO MAINTAIN A MINIMUM SLOPE OF 1.0% UNLESS OTHERWISE SPECIFIED.

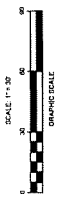
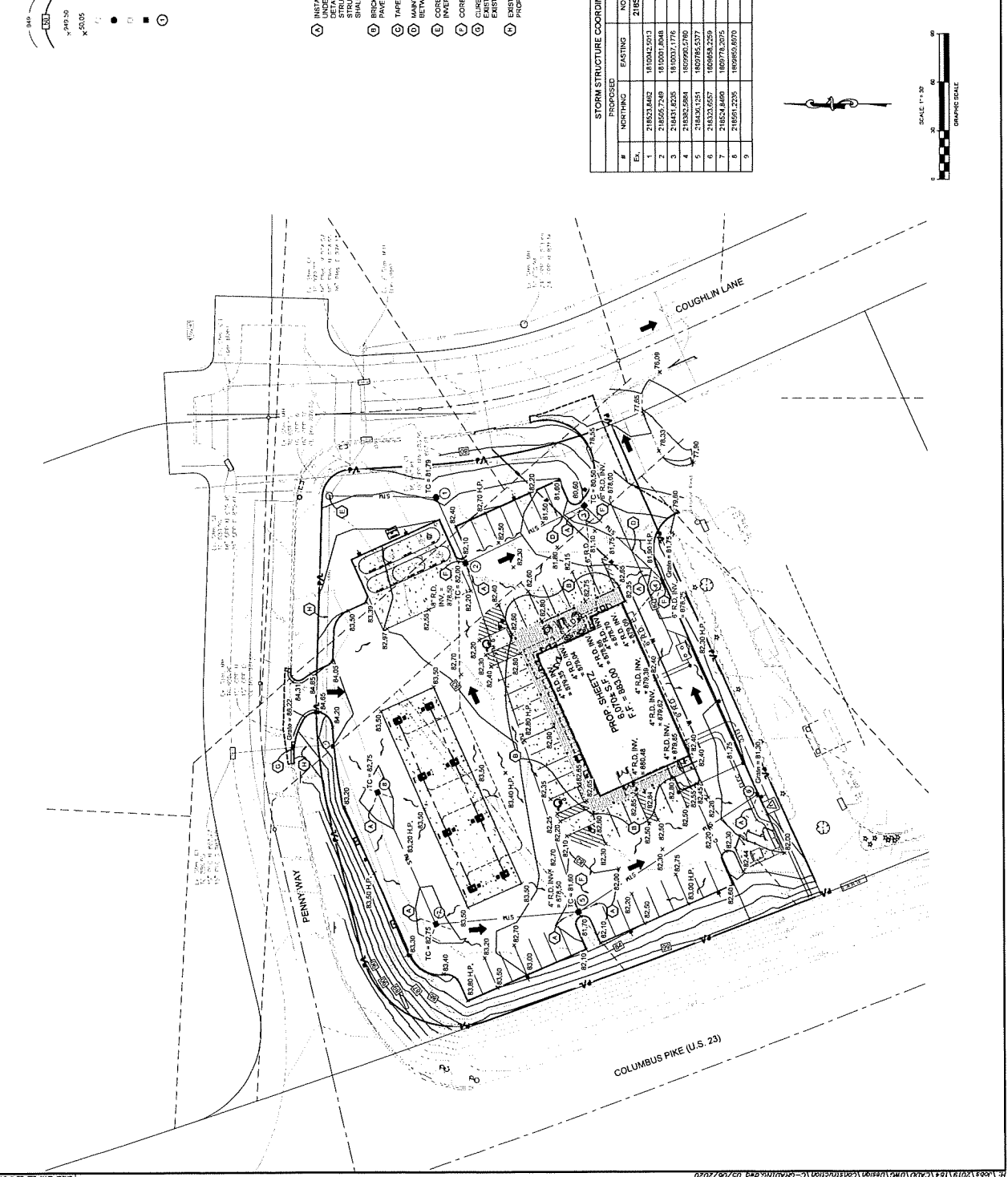
NOTE: ALL ELEVATIONS ARE IN FEET UNLESS OTHERWISE NOTED. ADD 0.5' TO TOP OF CURB ELEVATIONS.

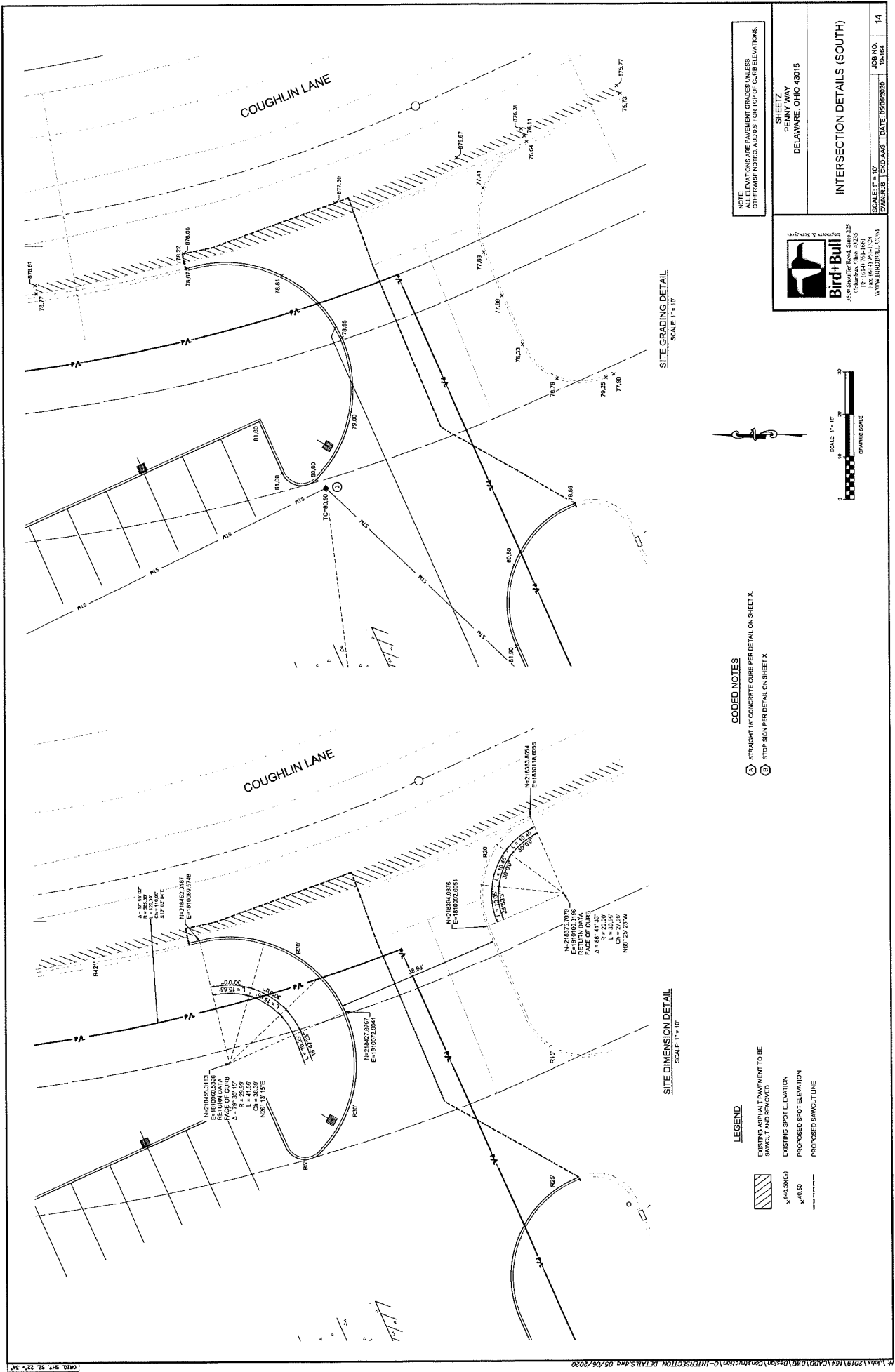
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SHEET 7
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 DELAWARE, OHIO 43015

STORM SEWER AND GRADING PLAN

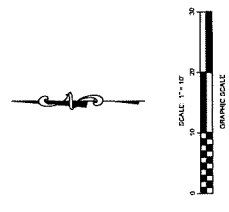
SCALE: 1" = 30'
 DWG#RJB TCD/245 | DATE: 05/06/2020 | JOB NO.: 19-154 | 12





NOTE: ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED. ALL CURB TOP SPOT ELEVATIONS.

SHEET PENNY WAY DELAWARE, OHIO 43015	
INTERSECTION DETAILS (SOUTH)	
SCALE: 1" = 10'	JOB NO.: 19-164
DATE: 09/08/2020	14



CODED NOTES

- Ⓐ STRAIGHT 18" CONCRETE CURB PER DETAIL ON SHEET X.
- Ⓑ STOP SIGN PER DETAIL ON SHEET X.

LEGEND

- EXISTING ASPHALT PAVEMENT TO BE REPAIRED AND REPAVED
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED SHOULDER LINE

SITE GRADING DETAIL
SCALE: 1" = 10'

SITE DIMENSION DETAIL
SCALE: 1" = 10'

THIS PLAN MUST BE POSTED ON-SITE
 IN THE PROJECT TRAILER.
 A COPY OF THE EROSION AND SEDIMENT
 CONTROL PLAN
 SHALL BE KEPT ONSITE AT ALL TIMES.

- LEGEND**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - TEMPORARY SEEDING AND MULCHING
 - PERMANENT SEEDING AND MULCHING
 - INLET PROTECTION - PAVEMENT
 - INLET PROTECTION - GRASS
 - CURB INLET PROTECTION
 - SEDIMENT RISER
 - TEMPORARY CONSTRUCTION FENCING
 - SEDIMENT FENCING
 - THREE FENCE
 - INDICATES DIRECTION OF MAJOR FLOOD ROUTING
 - CONCRETE WASHOUT
 - STABILIZED CONSTRUCTION ENTRANCE

NOTE: THE CONTRACTOR SHALL BE RESPONSIBLE
 FOR SWEEPING AND REMOVING ANY DEBRIS OR
 SEDIMENT FROM THE PUBLIC STREET.

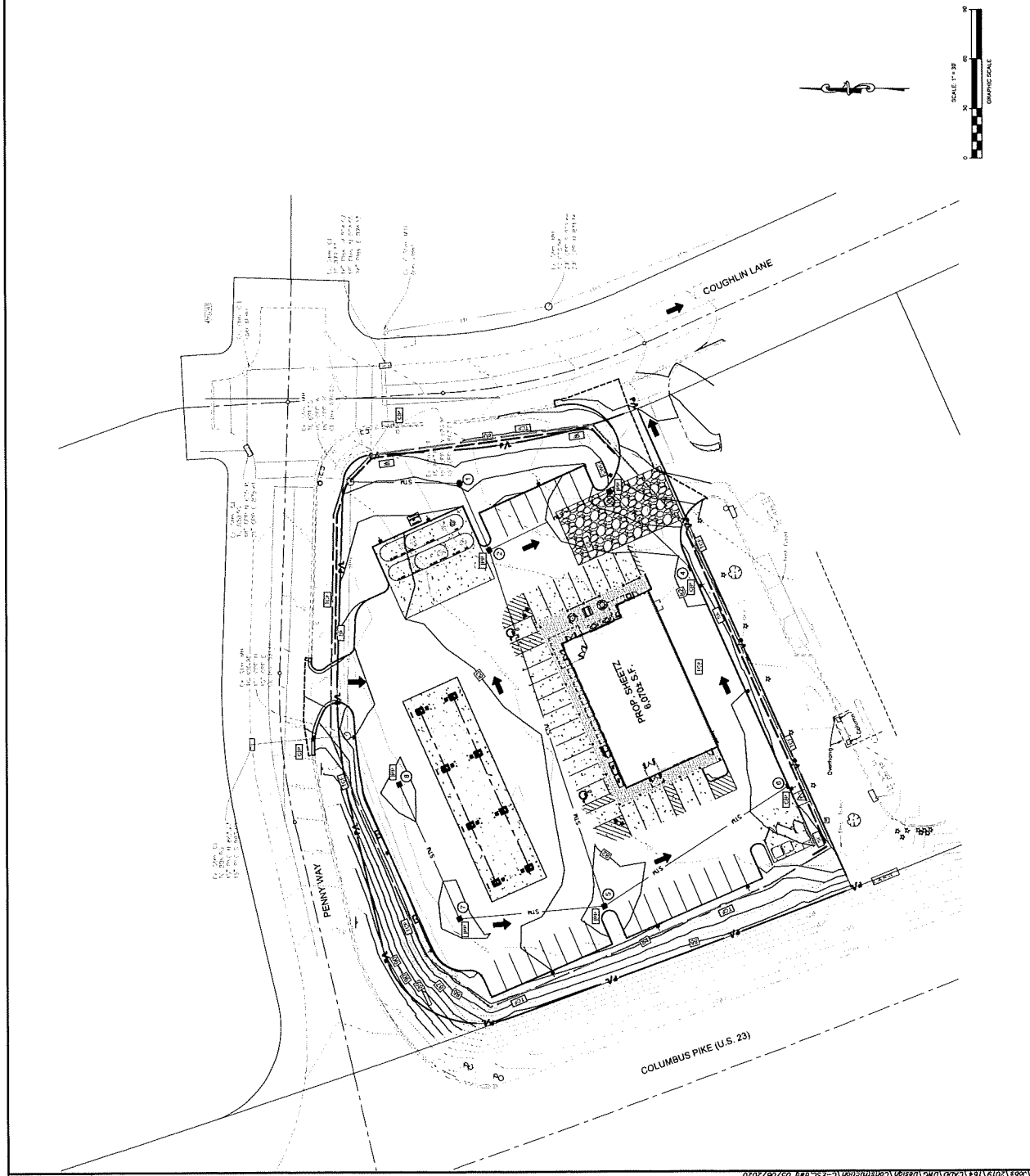


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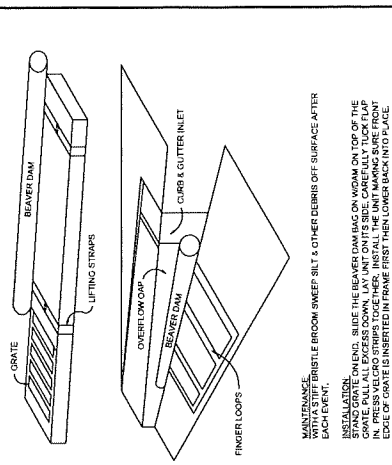
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**EROSION AND SEDIMENT
 CONTROL PLAN**

SCALE: 1" = 30'
 OWNER: SUB | CDD: JAG | DATE: 05/06/2020 | JOB NO.: 18-104 | 18



THIS PLAN MUST BE POSTED ON-SITE IN THE PROJECT TRAILER. A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN AND THE APPROVED EPA STORMWATER PERMIT SHALL BE KEPT ONSITE AT ALL TIMES.



MAINTENANCE: BRISTLE EROSION SWEEP SILT & OTHER DEBRIS OFF SURFACE AFTER EACH EVENT.
INSTALLATION: BRISTLE DAM BAG ON WOOD ON TOP OF THE GRATE. PLACE ALL LOGS OVER TOP OF DAM. INSTALL THE DAM USING THE FRONT EDGE OF GRATE IS INSERTED IN FRAME FIRST THEN LOWER BACK INTO PLACE. THIS INSURES STAMPS REMAIN FLUSH WITH GUTTER.
 NO SCALE

SEQUENCE OF MAJOR ACTIVITIES

1. ON-SITE RECONSTRUCTION MEETING WITH PROJECT MANAGER TO DISCUSS SEDIMENT AND EROSION CONTROL REQUIREMENTS.
2. INITIAL TEMPORARY CONSTRUCTION ENTRANCE PER THE SITE DRAWINGS BEFORE ANY CONSTRUCTION BEGINS OR SUPPLIES ARE DELIVERED.
3. INSTALL ALL EROSION AND SEDIMENT CONTROLS INCLUDING SEDIMENT BASINS, SILT FENCE, AND INLET PROTECTION.
4. POST ALL APPLICABLE SIGNS, INCLUDING THE NOTICE OF INTENT (NOI), AND HAVE THE SWPPP WITH EROSION AND SEDIMENT CONTROL PLAN AND PERMIT ON-SITE AT ALL TIMES.
5. ADVISE PROPERTY OWNER OF THE EXISTING VEGETATION AREAS OR BUFFERS TO REMAIN AS LONG AS POSSIBLE IS ENCOURAGED.
6. EROSION CONTROLS MUST BE INSPECTED PER THE ATTACHED INSPECTION CHECKLIST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS OF 0.25 INCHES OR GREATER RAINFALL (OR PER MORE STRINGENT LOCAL REQUIREMENTS).
7. INSTALL ANY SEDIMENT TRAPS AND/OR BASINS PER THE SITE DRAWINGS AS SOON AS POSSIBLE. REMOVE AND EXCAVATION OF THE SITE. PROVIDE TEMPORARY CHAINS TO DIRECT WATER TO TRAP BASINS.
8. REMOVE ACCUMULATED SEDIMENT FROM EROSION CONTROLS AS NECESSARY.
9. CONTINUE IMPLEMENTING EROSION CONTROL MEASURES AS THE CONSTRUCTION OF THE SITE. FOUNDATION AND STRUCTURES CHANGE THE TOPOGRAPHY OF THE SITE.
10. REPAIR ALL EROSION DAMAGE TO ALL AREAS THAT ARE TO REMAIN UNDISTURBED PER THE ATTACHED VEGETATION INSPECTION CHECKLIST.
11. THE GENERAL CONTRACTOR SHALL KEEP WRITERS' RECORDATIONS OF MAJOR EARTHWORK ACTIVITIES USING THE ATTACHED SITE LOG INDICATING START AND STOP DATES FOR DEFINED AREAS OF THE SITE. NOTE THESE AREAS ON THE SITE DRAWINGS WHEN POSSIBLE.
12. PERFORM A SUBSET SURVEY AND VERIFICATION LETTER FROM ENGINEER OF RECORD.
13. PROVIDE FINAL STABILIZATION AS SOON AS AREAS ARE MADE AVAILABLE. FINAL STABILIZATION (70% PERCENT COVERAGE OF TURF GRASS) IS SPECIFIED IN THE TEXT OF THE APPLICABLE PERMIT.
14. SCHEDULE POST CONSTRUCTION SOIL INSPECTION ONCE SITE ACHIEVES 20% OVERALL GRASS DENSITY.
15. REMOVE TEMPORARY OR SEDIMENT CONTROL PRACTICES ONCE FINAL STABILIZATION/VEGETATION HAS BEEN ESTABLISHED.
16. KEEP ALL SWPPP DOCUMENTS, INCLUDING INSPECTION CHECKLISTS, ON FILE FOR THREE (3) YEARS FROM TERMINATION.

NO SCALE

GENERAL EROSION NOTES

1. ALL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) COMPONENTS SHALL BE CONFORM TO FEDERAL, STATE OR LOCAL REGULATIONS AND STANDARDS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE PERMIT AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP PLAN. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION PER THE PERMIT AND ALL APPLICABLE REGULATIONS.
5. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATER OR REGULATED WETLANDS MUST BE MAINTAINED ON-SITE AT ALL TIMES.
6. CONTRACTOR SHALL MINIMIZE CLEANING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EROSION CONTROL OFFICE TRAILER AND TOILET FACILITIES.
8. ALL HIGH FLOW CONDUITS SHALL BE PROTECTED FROM DAMAGE BY TRUCKS AND TOILET FACILITIES. TRUCKS SHALL BE WASHED, PROPERLY TRAPPED AND/OR DISPOSED. IF CONCRETE CHUTES ARE TO BE WASHED, A PLACE MUST BE PROVIDED FOR THE WASH RUNOFF IN PLACE AWAY FROM THE STORM SEWER. NO RUNOFF FROM THIS AREA IS TO BE DELIVERED TO RECORD DRAWING OR FILE IN JOB TRAILER.
9. ALL STORM WATER POLLUTION PREVENTION MATERIALS AND FLOTATION ROOMS SHALL BE MAINTAINED ON-SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL, OIL, CHEMICAL, SPILLS AND LEAKS.
10. ALL STORM WATER POLLUTION PREVENTION MATERIALS SHALL BE PROTECTED FROM DAMAGE BY TRUCKS AND TOILET FACILITIES.
11. ALL STORM WATER POLLUTION PREVENTION MATERIALS SHALL BE PROTECTED FROM DAMAGE BY TRUCKS AND TOILET FACILITIES.
12. ALL STORM WATER POLLUTION PREVENTION MATERIALS SHALL BE PROTECTED FROM DAMAGE BY TRUCKS AND TOILET FACILITIES.
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15. ALL STORM WATER POLLUTION PREVENTION MATERIALS SHALL BE PROTECTED FROM DAMAGE BY TRUCKS AND TOILET FACILITIES.
16. ALL STORM WATER POLLUTION PREVENTION MATERIALS SHALL BE PROTECTED FROM DAMAGE BY TRUCKS AND TOILET FACILITIES.

NO SCALE

SWPPP SITE DESCRIPTION

THE EXISTING SITE CURRENTLY CONSISTS OF A VACANT LOT LOCATED WITHIN THE COLONIAL CROSSING DEVELOPMENT, CURRENTLY EXISTING STEEP SLOPES DOWN FROM 30 FT. TO THE WEST AND PENNY WAY TO THE NORTH, WITH GRAVITY SLOPES ACROSS THE INFRASTRUCTURE ALONG BOTH THE NORTH AND EAST PROPERTY LINES LEADING TO THE EXISTING REGIONAL BASIN AS CONSTRUCTED BY THE COLONIAL CROSSING DEVELOPMENT.

FOLLOWING CONSTRUCTION, THE SITE WILL EXHIBIT A GRAVITY SLOPE TO THE SOUTH SERVICE PARKING AND DRIVEABLES WITH THE FUTURE CENTER LOCATED IN THE NORTH PORTION OF THE SITE. THE EXISTING STORM SEWER INFRASTRUCTURE IN PENNY WAY AND COLONIAL LANE.

TOTAL SITE AREA = 1.08 AC.
 TOTAL AREA IMPACTED TO BE DISTURBED = 1.08 AC.
 RUNOFF COEFFICIENTS = 0.35
 POST DEVELOPMENT = 0.28

POST DEVELOPED IMPERVIOUS AREA = 0.50 AC.
 POST DEVELOPED IMPERVIOUS AREA = 1.42 AC.

EROSION CONTROL, SEASONING CONSTRUCTION ENTRANCE, STAGE II CONSTRUCTION DETENTION POND AND/OR TEMPORARY SEDIMENT CONTROL FACILITIES PRIOR TO SITE MASS GRADING.

NO SCALE

EROSION AND SEDIMENT CONTROL PLAN NOTES

1. ALL STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN GREAT SHAPE.
2. SEDIMENT STORAGE CAPACITY HAS BEEN REDUCED BY 40%.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE WITHIN 48 HOURS OF INSPECTION.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED WITH A SLOPE OF 2% TO PREVENT TRACKING CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN GREAT SHAPE.

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EROSION AND SEDIMENT CONTROL PLAN NOTES

SCALE: N/A
 DRAWING: CRD-245 DATE: 02/06/2020 JOB NO.: 19 19-164

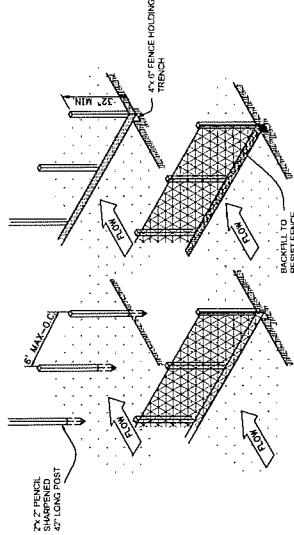
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EROSION AND SEDIMENT CONTROL PLAN NOTES

SCALE: N/A
 DRAWING: CRD-245 DATE: 02/06/2020 JOB NO.: 19 19-164

THIS PLAN MUST BE POSTED ON-SITE
IN THE PROJECT TRAILER.
A COPY OF THE EROSION AND SEDIMENT
CONTROL PLAN AND THE
APPROVED EPA STORMWATER PERMIT
SHALL BE KEPT ONSITE AT ALL TIMES.



REINFORCEMENT FABRIC SHALL BE 0001, TYPE C GEOTEXTILE FABRIC OR THE EQUIVALENT TO FOLLOWING PROPERTIES:

MATERIAL PROPERTIES	
MINIMUM TENSILE STRENGTH	170 LBS.
MAXIMUM ELONGATION AT SOILS	50%
MINIMUM TEAR STRENGTH	40 LBS.
MINIMUM PERFORATION STRENGTH	0.84 MW
MINIMUM PERMITTIVE STRENGTH RETENTION	70% 3/16" SEC

1. SILT FENCE BARRIERS UTILIZE STANDARD STRENGTH OR EXTRA STRENGTH SYNTHETIC FILTER FABRICS. IT IS DESIGNED FOR SITUATIONS IN WHICH ONLY SHEET OR OVERLAND FLOWS ARE EXPECTED. MATERIAL PROPERTIES ARE LISTED IN THE TABLE ABOVE.
2. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES. HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE.
3. THE USE OF JOINTS, WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPACED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM OF A 6 INCH OVERLAP AND SECURELY SEALED.
4. THE GROUND (MINIMUM OF 12 INCHES), WOOD POSTS WILL BE MINIMUM OF 32 INCHES LONG WITH EXTRA STRENGTH FABRIC SHALL BE EXCAVATED APPROXIMATELY 1 INCHES AND 6 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
5. THE TYPE OF POSTS SHALL BE 2x4 SIPS OR ANCHORS TO THE FENCE. ANCHORS SHALL BE 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
6. SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.
7. SILT FENCES SHALL BE REMOVED IMMEDIATELY FOLLOWING AROUND THE EDGE. EACH END SHALL BE CONSTRUCTED UPSLOPE SO THE ENDS ARE HIGHER ELEVATION.
8. MAINTENANCE

MAINTENANCE
SILT FENCE BARRIERS SHALL BE MAINTAINED AT ALL TIMES. OVERFLOW SHALL BE KEPT ONLY IN THE UPPER PORTION OF THE BARRIER. OVERFLOW SHALL BE MADE IMMEDIATELY. SHOULD THE FABRIC OR SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED URBAN LIFE CYCLE, THE BARRIER SHALL BE REPLACED WITH A NEW BARRIER. THE BARRIER SHALL BE MAINTAINED AT ALL TIMES TO APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GROUND PREPARED AND SAVED.

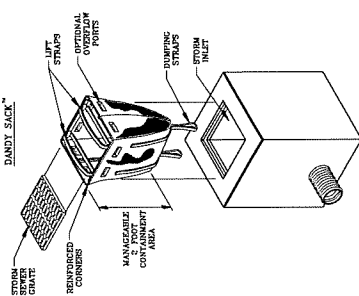
SEDIMENT FENCE
NO SCALE

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SHEET #
PENNY WAY
DELAWARE, OHIO 43015

EROSION AND SEDIMENT CONTROL
PLAN DETAILS

SCALE: N/A
JOB NO.: 10-184
DATE: 05/06/2020
JOB NO.: 21

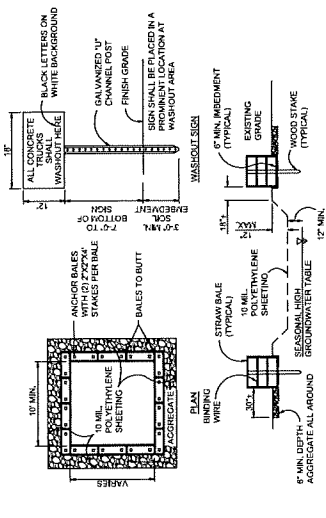


DETAIL OF INLET SEDIMENT CONTROL DEVICE

DANDY SACK
NOTE: ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED. ALL DIMENSIONS IN THIS PLAN SHALL BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.

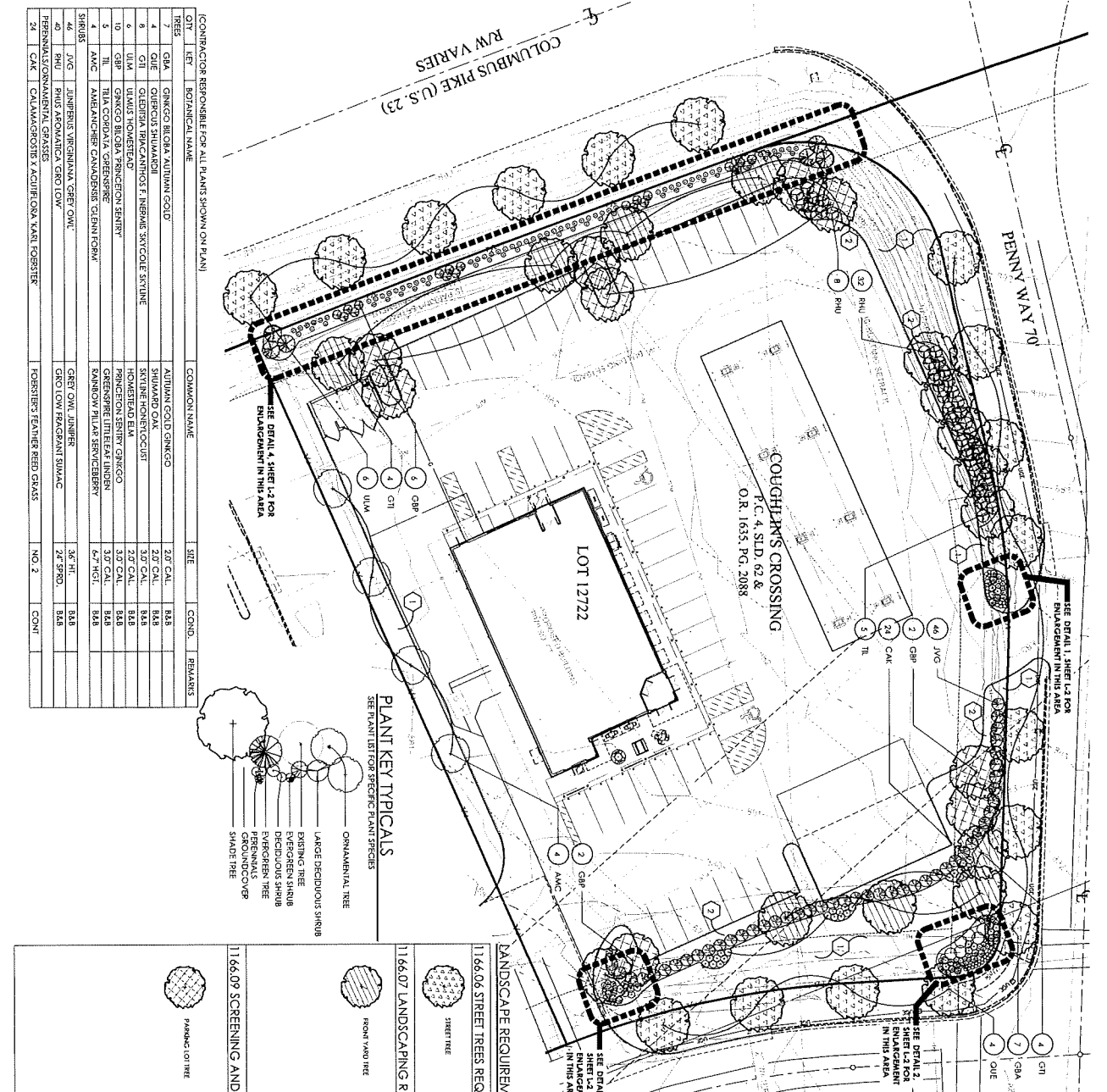
REINFORCING PROPERTIES	TYPE	MIN. TENSILE STRENGTH	MIN. TENSILE ELONGATION	MIN. TENSILE PERFORATION STRENGTH	MIN. PERFORATION STRENGTH RETENTION
0001	TYPE C	170 LBS.	50%	40 LBS.	70% 3/16" SEC
0002	TYPE C	170 LBS.	50%	40 LBS.	70% 3/16" SEC
0003	TYPE C	170 LBS.	50%	40 LBS.	70% 3/16" SEC
0004	TYPE C	170 LBS.	50%	40 LBS.	70% 3/16" SEC
0005	TYPE C	170 LBS.	50%	40 LBS.	70% 3/16" SEC
0006	TYPE C	170 LBS.	50%	40 LBS.	70% 3/16" SEC
0007	TYPE C	170 LBS.	50%	40 LBS.	70% 3/16" SEC
0008	TYPE C	170 LBS.	50%	40 LBS.	70% 3/16" SEC
0009	TYPE C	170 LBS.	50%	40 LBS.	70% 3/16" SEC
0010	TYPE C	170 LBS.	50%	40 LBS.	70% 3/16" SEC
0011	TYPE C	170 LBS.	50%	40 LBS.	70% 3/16" SEC
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0015	TYPE C	170 LBS.	50%	40 LBS.	70% 3/16" SEC
0016	TYPE C	170 LBS.	50%	40 LBS.	70% 3/16" SEC
0017	TYPE C	170 LBS.	50%	40 LBS.	70% 3/16" SEC
0018	TYPE C	170 LBS.	50%	40 LBS.	70% 3/16" SEC
0019	TYPE C	170 LBS.	50%	40 LBS.	70% 3/16" SEC
0020	TYPE C	170 LBS.	50%	40 LBS.	70% 3/16" SEC

INLET PROTECTION - PAVEMENT
NO SCALE



- NOTES:
1. CONTAINMENT MUST BE STRUCTURALLY SOUND AND LEAK FREE AND CONTAIN ALL LIQUID WASTES.
 2. CONTAINMENT DEVICES MUST BE OF SUFFICIENT CAPACITY TO ACCUMULATE ALL WASTES.
 3. WASHOUT MATS BE CLEANED OR NEW CAR TIRES CONSTRUCTED AND READY TO USE ONCE WASHOUT IS 75% FULL.
 4. WASHOUT AREAS SHALL BE INSTALLED IN A LOCATION EASILY ACCESSIBLE BY CONCRETE TRUCKS.
 5. WASHOUT AREAS MAY BE INSTALLED ON THE CONSTRUCTION SITE AND MAY BE RELOCATED AS CONSTRUCTION PROGRESSES.
 6. AT LEAST WEEKLY REMOVE ACCUMULATION OF SAND AND AGGREGATE AND DISPOSE OF APPROPRIATELY.

CONCRETE WASHOUT AREA
NO SCALE



GENERAL PLANTING NOTES:

1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK STANDARDS.
2. PLANT LOCATION AND BEES SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
3. PLANTING BEES SHALL HAVE A MINIMUM 3" DEEP SHROUDED HARDWOOD BARK MULCH, WHICH BEGINS AT THE PLANTING BEES TO BE HELD TO A MINIMUM DEPTH OF 1.75".
4. ALL PLANTING BEES TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
5. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, ALL AREAS DISBURSED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED SOOEDD, OR OTHERWISE.
6. ALL EXISTING PLANT MATERIAL SHOWN ON THE PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

CONSTRUCTION NOTES:

1. LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
2. LANDSCAPE AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES, PROVIDE MIN. 3" DEPTH MULCH AROUND SHRUBS AT ALL ISLANDS, PARKING LOT SCREENING AND AROUND PYLON SIGNS, WHICH SHALL BE OF ALL-CLICH DOUBLE-SIDED CORO® BLENDED 10/50 HARDWOOD BARK MULCH, WHICH BEGINS AT THE PLANTING BEES TO BE HELD TO A MINIMUM DEPTH OF 1.75".
3. ALL PLANTING BEES TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.

LANDSCAPE REQUIREMENTS

NO.	DESCRIPTION	REQUIRED	PROVIDED
1166.06	STREET TREES REQUIREMENTS	ONE (1) TREE PER 100 FEET OF LOT FRONTAGE FOR PARKING DRIVE BRANCHED TREE	FOUR (4) ULM, ONE (1) QUERCUS, ONE (1) GINCO, ONE (1) CYPRESS, ONE (1) JUNIPER, ONE (1) SPREADER
1166.07	LANDSCAPING REQUIREMENTS FOR FRONT YARDS	REQUIRED: ONE (1) TREE SHALL BE PROVIDED FOR EVERY 100 FEET OF LOT FRONTAGE. THE TREE SHALL BE BRANCHED AND SHALL HAVE A CLEAR BRANCH HEIGHT OF AT LEAST 16 FEET. ONE (1) SHRUB SHALL BE PROVIDED FOR EVERY 100 FEET OF LOT FRONTAGE. THE SHRUB SHALL BE BRANCHED AND SHALL HAVE A CLEAR BRANCH HEIGHT OF AT LEAST 6 FEET.	PROVIDED: ULM, GINCO, QUERCUS, JUNIPER, SPREADER, CYPRESS, ONE (1) TREE SHALL BE PROVIDED FOR EVERY 100 FEET OF LOT FRONTAGE. THE TREE SHALL BE BRANCHED AND SHALL HAVE A CLEAR BRANCH HEIGHT OF AT LEAST 16 FEET. ONE (1) SHRUB SHALL BE PROVIDED FOR EVERY 100 FEET OF LOT FRONTAGE. THE SHRUB SHALL BE BRANCHED AND SHALL HAVE A CLEAR BRANCH HEIGHT OF AT LEAST 6 FEET.
1166.09	SCREENING AND LANDSCAPING OF PARKING LOTS	REQUIRED: FOR ANY PARKING AREA DESIGN TO ACCOMMODATE 4000 VEHICLES OR MORE, SCREENING SHALL BE PROVIDED AS INDICATED ON THE PLAN. EACH ISLAND SHALL BE PLANTED WITH TWO (2) TREES PER 100 FEET OF LOT FRONTAGE. THE TREES SHALL BE BRANCHED AND SHALL HAVE A CLEAR BRANCH HEIGHT OF AT LEAST 16 FEET. ONE (1) SHRUB SHALL BE PROVIDED FOR EVERY 100 FEET OF LOT FRONTAGE. THE SHRUB SHALL BE BRANCHED AND SHALL HAVE A CLEAR BRANCH HEIGHT OF AT LEAST 6 FEET.	PROVIDED: ULM, GINCO, QUERCUS, JUNIPER, SPREADER, CYPRESS, ONE (1) TREE SHALL BE PROVIDED FOR EVERY 100 FEET OF LOT FRONTAGE. THE TREE SHALL BE BRANCHED AND SHALL HAVE A CLEAR BRANCH HEIGHT OF AT LEAST 16 FEET. ONE (1) SHRUB SHALL BE PROVIDED FOR EVERY 100 FEET OF LOT FRONTAGE. THE SHRUB SHALL BE BRANCHED AND SHALL HAVE A CLEAR BRANCH HEIGHT OF AT LEAST 6 FEET.

REVISIONS

NO.	DATE	DESCRIPTION

SHEETZ PENNY WAY

PREPARED FOR:

BIRD & BULL ENGINEER'S & SURVEYORS, INC.

3500 SHOUFFER RD #225, COLUMBUS, OH 43235

OVERALL LANDSCAPE PLAN

DATE: 5/1/20
PROJECT: 20016

Faris Planning & Design

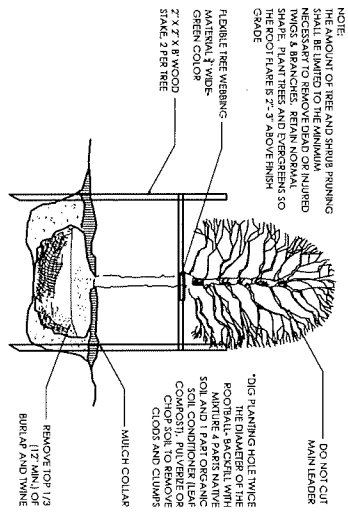
LANDSCAPE ARCHITECTURE

2433 N. 5th Street Columbus, OH 43215
(614) 457-1514 www.farisplanning.com

LAND PLANNING

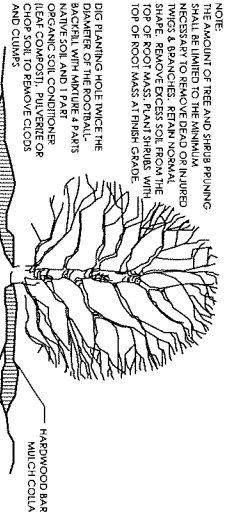
500 S. 4th Street Columbus, OH 43215
(614) 457-1514 www.kaplanplanning.com

DATE: 5/1/20
PROJECT: 20016



5 DECIDUOUS TREE N.T.S.

01-1001



6 SHRUB PLANTING DETAIL N.T.S.

01-1002

CONSTRUCTION NOTES:

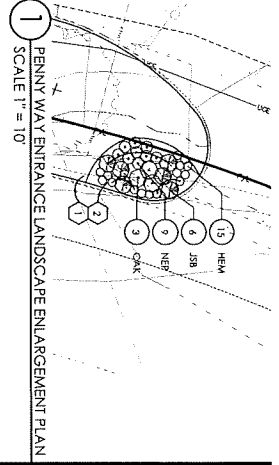
1. LAWN AREA, PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
2. PROVIDE MIN. 3" DEPTH MULCH AROUND SHRUBS AT ALL PLANTS. PARKING LOT SCREENING AND AROUND PLYCON SECS. MULCH SHALL BE DOUBLE-SHEDDED COCOIR-BANDED (TWO) HARDWOOD BARK MULCH POLYPROPYLENE OR APPROVED EQUAL. IN ALL PLANT BEDS AND AT TREE BING

CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN

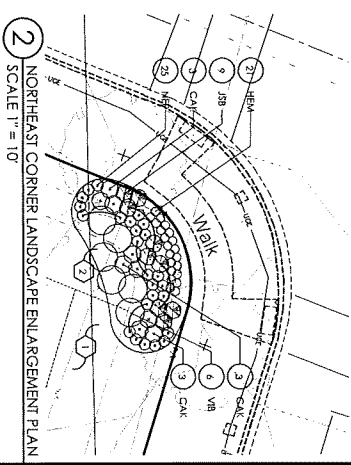
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARKS
SHRUBS						
20	JUN	JUNIPERUS HORIZONTALIS 'WILTONII'	BLUE RICE JUNIPER	6" HT.	BA3	
18	J2B	JUNIPERUS SPIDERMANNI 'BLUE STAR'	BLUE STAR JUNIPER	12" HT.	BA3	
6	VIB	VIBURNUM PHELIANUM TOMENTOSUM 'SUMMER SNOWFLAKE'	SUMMER SNOWFLAKE	50" HT.	BA3	
PERENNIALS/ORNAMENTAL GRASSES						
30	SAU	HELIOPSIS SCITULA 'DORIS'	SHILO DORIS	1 GAL.	CONT.	
18	CAU	SALVIA X SILVENSIS 'MANICHO'	MANI NIGHT SALVIA	1 GAL.	CONT.	
18	CAU	CALAMAGROSTIS X AQUILEGIA 'VARI FOSTERIE'	VARI FOSTERIE	2 GAL.	CONT.	
41	NEP	NEREJA X FASSNERI 'WALTERS DOW'	WALTERS LOW CANNIST	1 GAL.	CONT.	

GENERAL PLANTING NOTES:

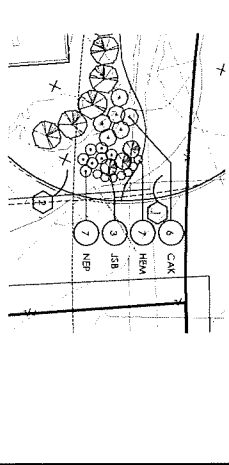
1. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
2. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
3. PLANTING OPERATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTIGUOUS BED BE FILLED TO A MINIMUM DEPTH OF 12".
5. ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
6. SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL APPROVALS FROM THE OWNER ONLY. THE CONTRACTOR SHALL VERIFY BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR BY THE CONTRACTOR'S NEGLIGENCE OR CARELESSNESS.
8. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED TO ORIGINAL GRADE AND SEEDED SOONER.
9. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.



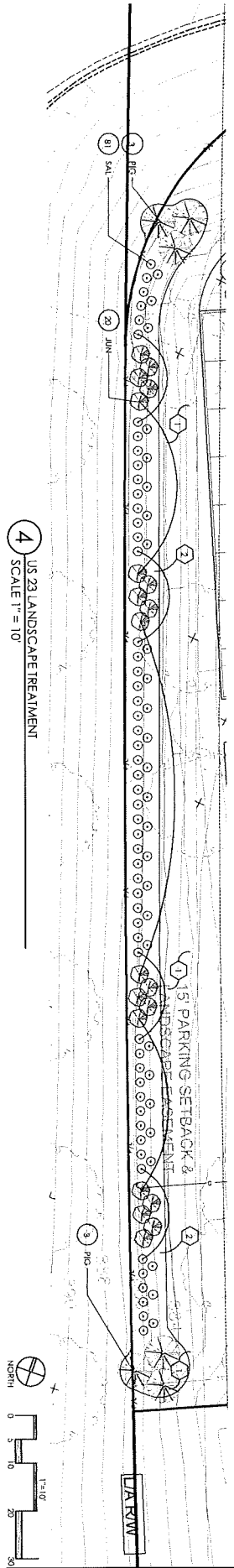
1 PENNY WAY ENTRANCE LANDSCAPE ENLARGEMENT PLAN SCALE 1" = 10'



2 NORTHEAST CORNER LANDSCAPE ENLARGEMENT PLAN SCALE 1" = 10'



3 SOUTHEAST ENTRANCE LANDSCAPE ENLARGEMENT PLAN SCALE 1" = 10'



4 US 23 LANDSCAPE TREATMENT SCALE 1" = 10'

REVISIONS

LANDSCAPE ENLARGEMENT PLANS AND SITE DETAILS

SHEETZ PENNY WAY
 BIRD & BULL ENGINEER'S & SURVEYORS, INC.
 3500 SHOUPPER RD # 225, COLUMBUS, OH 43235

Faris Planning & Design
 LANDSCAPE ARCHITECTURE
 2433 N. 5TH STREET, SUITE 401, COLUMBUS, OH 43235
 P (614) 457-1944 WWW.FARISPLANNINGANDDESIGN.COM

L-2

DATE	5/1/20
PROJECT	20016
SHEET	

Compass Architecture
and Design P.C.
171 Towne Way, Chester, PA 19329
PH: 610-328-1100
FAX: 610-328-1101
WWW.COMPASS-ARCH.COM

**NEW SHEETZ STORE
DELAWARE**

141st of Perry Way
and Columbus Pike, U.S. 20,
Delaware
Ohio

OWNER:
SHEETZ, INC.
5700 SIXTH AVE.
ALTOONA, PA 16602

DATE: 08/14/17

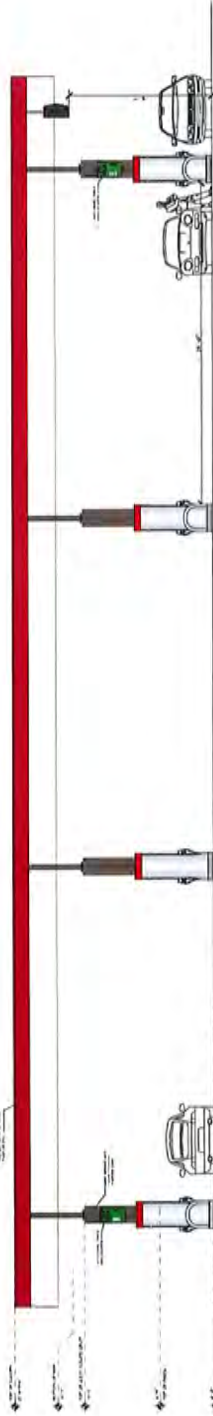
DESCRIPTION:

NEW SIGN

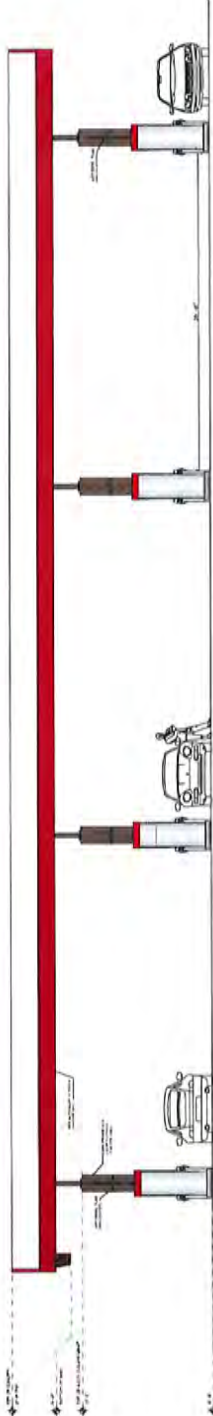
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03		ISSUE FOR PERMIT
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GAS AWNING
DETAILS

AWNING



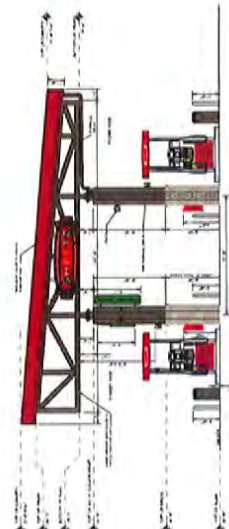
SIDE 'A' STREET SIDE ELEVATION
SCALE 3/16" = 1'-0"



SIDE 'D' STORE SIDE ELEVATION
SCALE 3/16" = 1'-0"



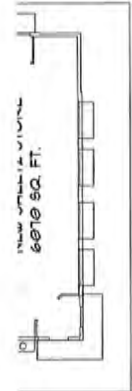
SIDE 'A' LEFT SIDE ELEVATION
SCALE 3/16" = 1'-0"



SIDE 'C' RIGHT SIDE ELEVATION
SCALE 3/16" = 1'-0"



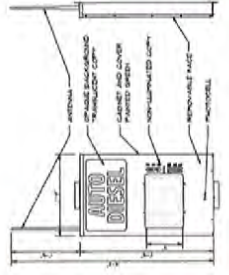
SHEETZ LOGO DETAIL
SCALE 1/4" = 1'-0"



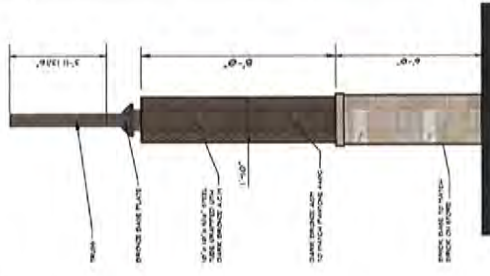
PLAN VIEW FOR LOGO LOCATIONS
SCALE 1/4" = 1'-0"



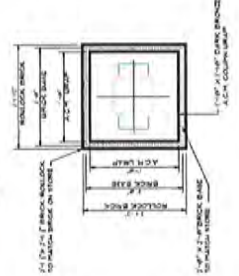
AUTO DIESEL PRICE SIGN
ELEVATION AND DETAIL
SCALE 1/4" = 1'-0"



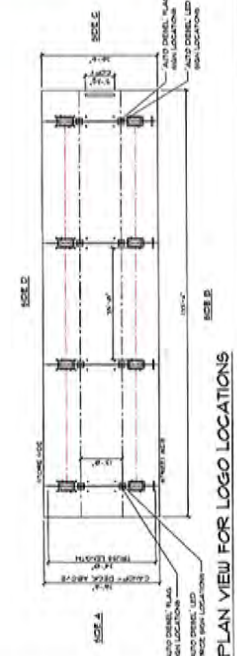
AUTO DIESEL FLAG SIGN
ELEVATION AND DETAIL
SCALE 1/4" = 1'-0"



COLUMN ELEVATION
SCALE 1/4" = 1'-0"



BRICK COLUMN BASE DETAIL
SCALE 1/4" = 1'-0"



PLAN VIEW FOR LOGO LOCATIONS
SCALE 1/4" = 1'-0"



SHEETZ INCORPORATED
 5100 SIXTH AVENUE
 ALTOONA, PA 16602
 (814) 346-3611

NEW SHEETZ STORE "DELAWARE"

INT. OF PENNY WAY
 AND COLUMBUS PIKE, U.S. 23
 DELAWARE, OHIO

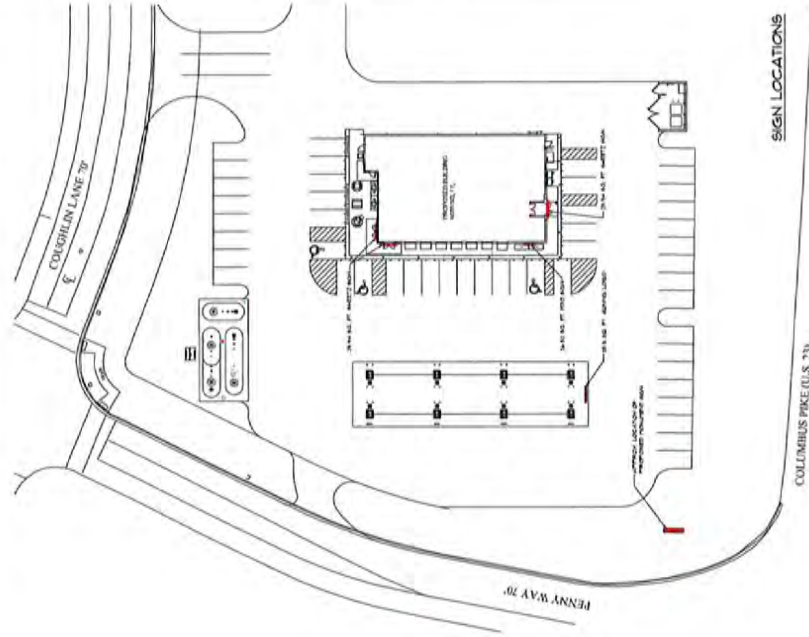
SIGNAGE SQUARE FOOTAGE BREAKDOWN

BUILDING ELEVATIONS
 SHEETZ SIGN = 25.94 SQ. FT. X 3 = 77.82 SQ. FT.
 MTO SIGN = 26.52 SQ. FT. X 1 = 26.52 SQ. FT.
 TOTAL = 104.34 SQ. FT. 104.34 SQ. FT.

GAS CANOPY AWNING
 SHEETZ LOGO AREA = 35.5 SQ. FT. X 1 = 35.5 SQ. FT.
 TOTAL = 35.50 SQ. FT. 35.50 SQ. FT.

MONUMENT SIGN
 SHEETZ CHANNEL LETTER AREA = 5.00± SQ. FT. X 1 = 5.00± SQ. FT.
 GAS PRICE SIGN AREA = 15.00± SQ. FT. X 1 = 15.00± SQ. FT.
 TOTAL = 20.00 SQ. FT. 20.00 SQ. FT.

TOTAL SIGNAGE SQ. FT. FOR SITE = 199.84 SQ. FT.



BUILDING WALL MOUNTED SIGN
 SIGN AREA = 25.94 SQ. FT.
 TOTAL OF THREE

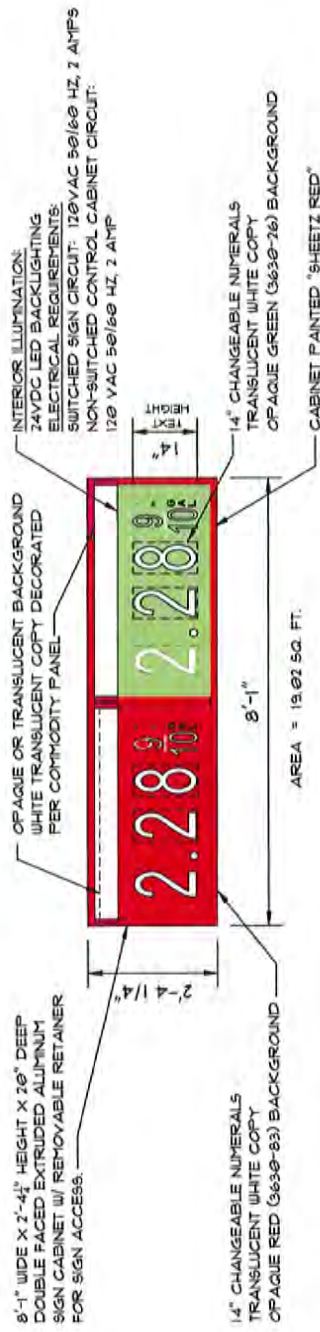


BUILDING WALL MOUNTED SIGN
 SIGN AREA = 26.52 SQ. FT.
 PROJECT 1" OFF FACE OF BUILDING

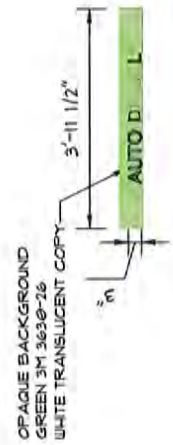
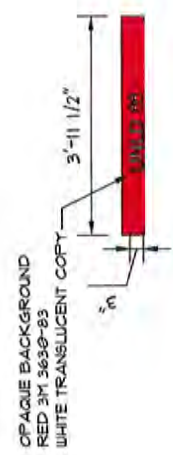
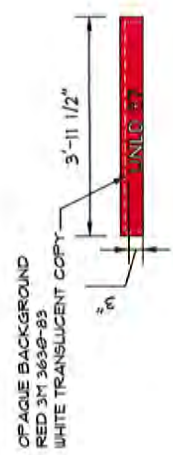


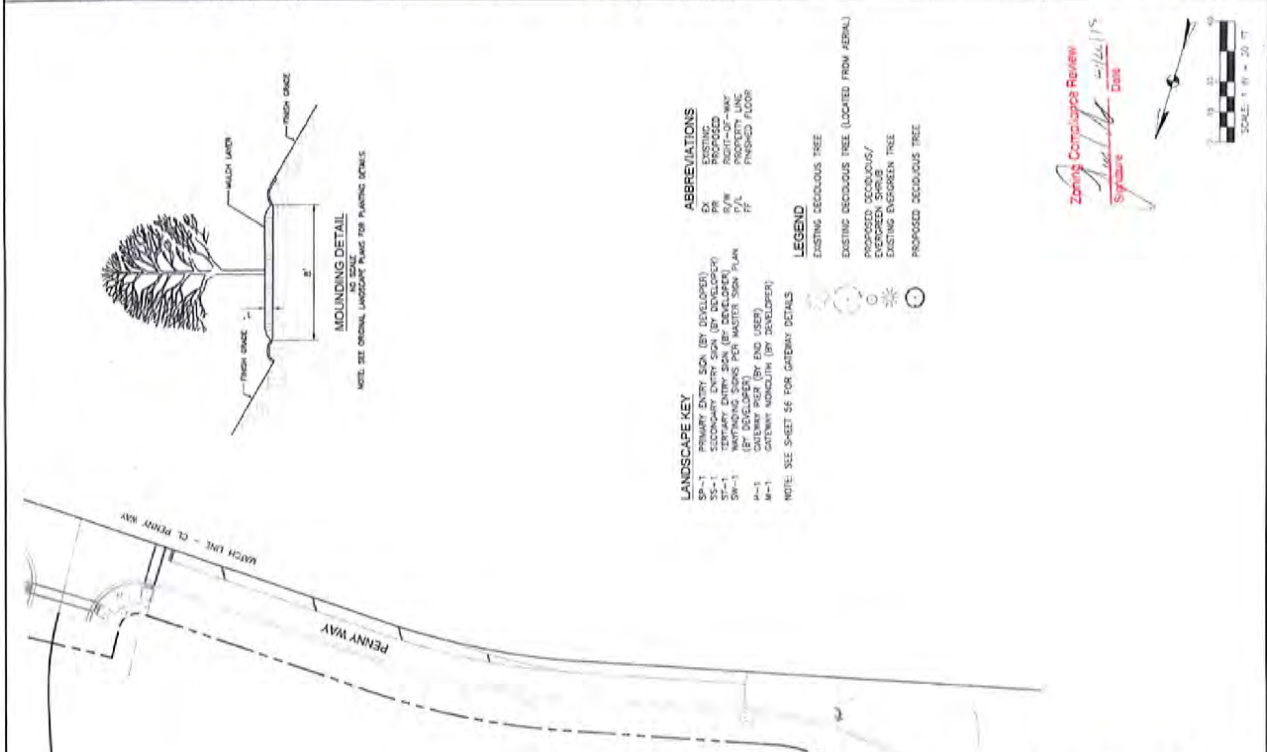
UPDATED 04-16-20

2'-4 1/4" DOUBLE GAS PRICE



UNLD 8" TO BE ON STREET SIDE OF SIGN FOR BOTH SIDES





PLANT LIST - US 23 PLANTING

QTY	SYMBOL	COMMON	SIZE	MAINT. SIZE (L x W)	FLOWER COLOR	SOIL	DATE	FALL COLOR
4	AM AB	AUTUMN BRILLIANCE SERVICEBERRY	1' 1/2" CAL	15' x 15'	SHINY RED	X		ORANGE/RED
1	VA	IRITA VIRGINICA 'HENRY'S GARNET'	3/4" HT.	4' x 8'	WHITE			RED
25	JH HO	JUNIPERUS HORIZONTALIS 'MILTON'	6" HT.	6' x 6'	NONE	X		NONE
4	MA SN	MALUS SNOWDRIFT	1' 1/2" CAL	15' x 15'	SHINY ORANGE	X		RED/BROWN
40	PA VI	PANICUM VIRGATUM 'SHERWOOD'	3 CAL	4' x 3'	PINK/RED			GREEN/RED
28	VI PL	VIBURNUM PLATANUS 'SUMMER SNOWFLAKE'	3/4" HT.	7' x 7'	WHITE	X		FALL FRUIT
44	SA SY	SAUVA X SYCESTRIS 'MANNING'	1 CAL	2' x 2'	PURPLE	X	X	X

LANDSCAPE KEY
 EA-1 ENTRY SIGN (BY DEVELOPER)
 SA-1 SECONDARY ENTRY SIGN (BY DEVELOPER)
 ST-1 TEMPORARY ENTRY SIGN (BY DEVELOPER)
 SW-1 SIGNAGE FOR MASTER SIGN PLAN (BY DEVELOPER)
 P-1 DRIVEWAY PILE (BY END USER)
 M-1 GATEWAY MONUMENT (BY DEVELOPER)
NOTE: SEE SHEET 58 FOR GATEWAY DETAILS

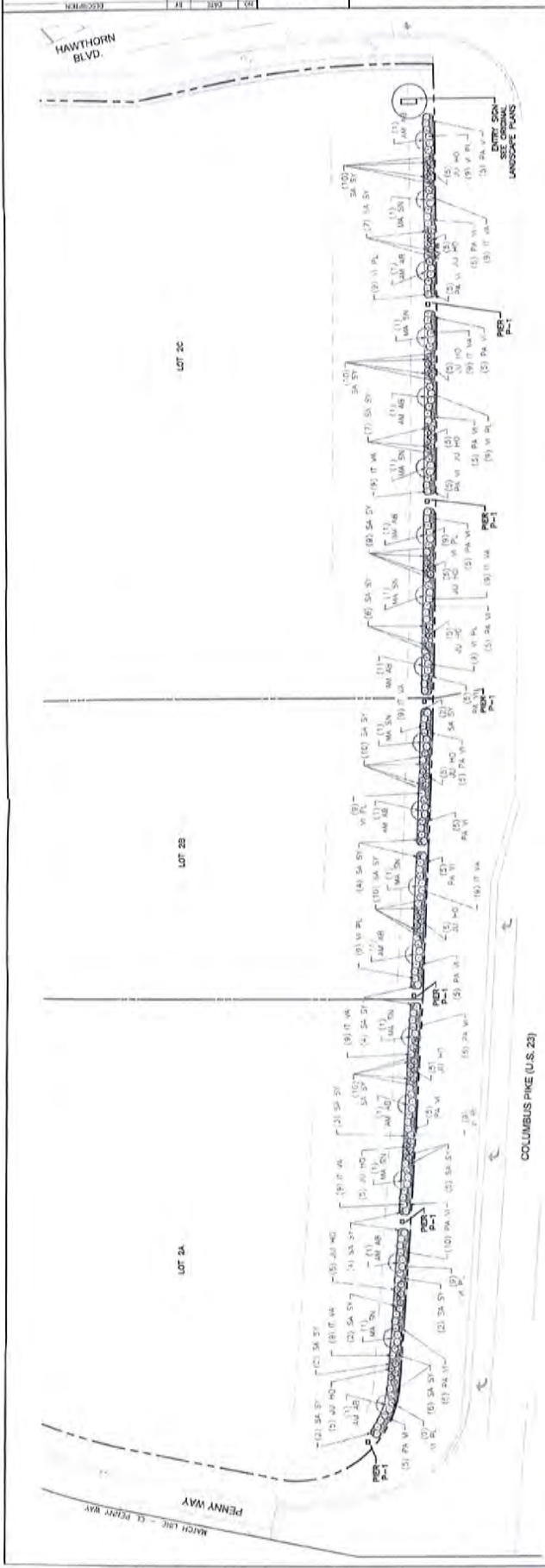
ABBREVIATIONS
 EA-1 ENTRY SIGN (BY DEVELOPER)
 SA-1 SECONDARY ENTRY SIGN (BY DEVELOPER)
 ST-1 TEMPORARY ENTRY SIGN (BY DEVELOPER)
 SW-1 SIGNAGE FOR MASTER SIGN PLAN (BY DEVELOPER)
 P-1 DRIVEWAY PILE (BY END USER)
 M-1 GATEWAY MONUMENT (BY DEVELOPER)

LEGEND
 EXISTING DECIDUOUS TREE
 EXISTING DECIDUOUS TREE (LOCATED FROM AERIAL)
 PROPOSED DECIDUOUS TREE
 EXISTING CONIFERUS TREE
 EXISTING EVERGREEN TREE
 PROPOSED DECIDUOUS TREE

MOUNDING DETAIL
 NOTE: SET ORIGINAL LANDSCAPE PLANS FOR PLANTING DETAILS

Zoning Compliance Review
 [Signature]
 [Date]

SCALE: 1" = 20'-0"
 NORTH



PLANT LIST - US 23 PLANTING

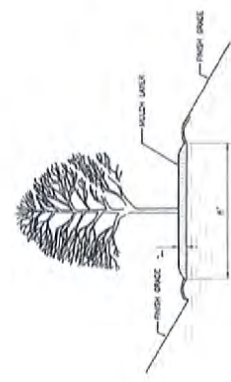
KEY	BOTANICAL	COMMON	INPS	SIZE	MATURE SIZE H X W	FLOWER COLOR	SO	EM	FALL	FALL COLOR
AM AB	10 ANGLICANA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE EDWARDSBERRY	D TREE	1 1/2" CAL	15' X 15'	SHINY RED	X			ORANGE/RED
F VA	80 ITA VIRGATA 'HENRY'S CARNET'	IRISH WINDSPHERE 'HENRY'S CARNET'	D SHRUB	3" HT.	4' X 6'	WHITE				TEAL
JU HO	60 JUNIPERUS 'HORIZONTALIS WATSON'	BLUE BLUE JUNIPER	E SHRUB	8" HT.	8' X 6'	NONE	X			NONE
MA SA	9 MALUS 'SNOOKY'	FLOWERING CHAMPAGNE	D TREE	1 1/2" CAL	15' X 15'	SHINY ORANGE	X			RED/BROWN
PA VA	50 PANICUM VIRGATUM 'SCANDIAV'	SUEDEWOOD SWITZ. GRASS	GRASS	3 CAL	4' X 3'	PINK/TEAL	X			GREEN/RED
VA PL	60 VIBURNUM PLACIDUM 'SANGRE SANGRE'	SUMMER SNOODLAKE VIBURNUM	D SHRUB	3" HT.	4' X 3'	WHITE	X			FALL FRUIT
SA 5"	80 SALIX X 'STAVINSKY WANDER'	WOOD SAGE	PERENNIAL	1 CAL	2' X 2'	PURPLE	X	X	X	

LANDSCAPE KEY

- SA-1 PRIMARY ENTRY SOA (BY DEVELOPER)
- SA-2 SECONDARY ENTRY SOA (BY DEVELOPER)
- SA-3 TERTIARY ENTRY SOA (BY DEVELOPER)
- SA-4 ENTRY SOA FOR WATER SOA PLAN (BY DEVELOPER)
- SA-5 CADDYWAY PER (BY END USER)
- SA-6 CADDYWAY MONOLITH (BY DEVELOPER)

LEGEND

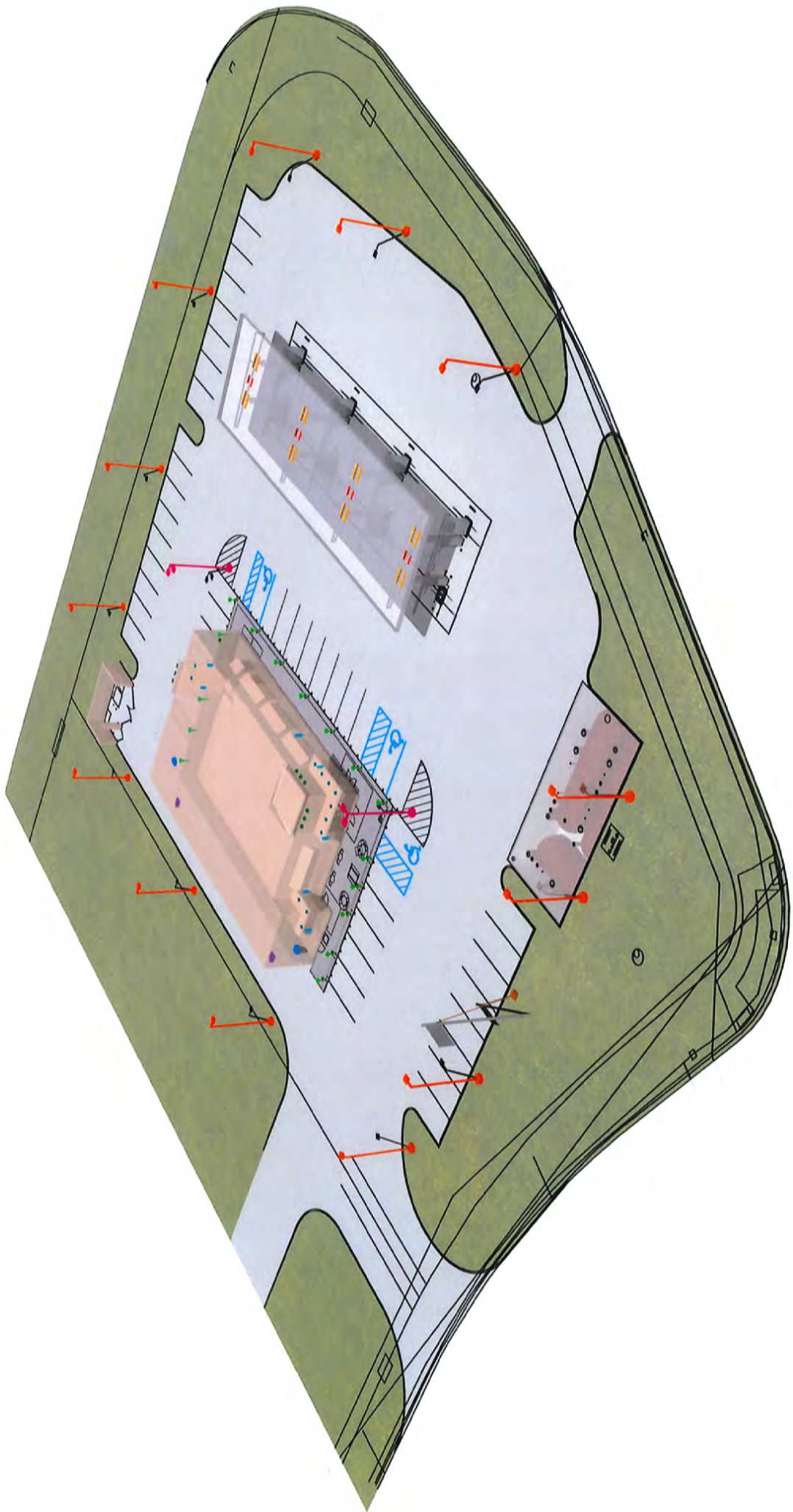
- EXISTING DECIDUOUS TREE
- EXISTING DECIDUOUS TREE (LOCATED FROM AERIAL)
- PROPOSED DECIDUOUS TREE
- PROPOSED EVERGREEN TREE
- EXISTING EVERGREEN TREE
- PROPOSED EVERGREEN TREE

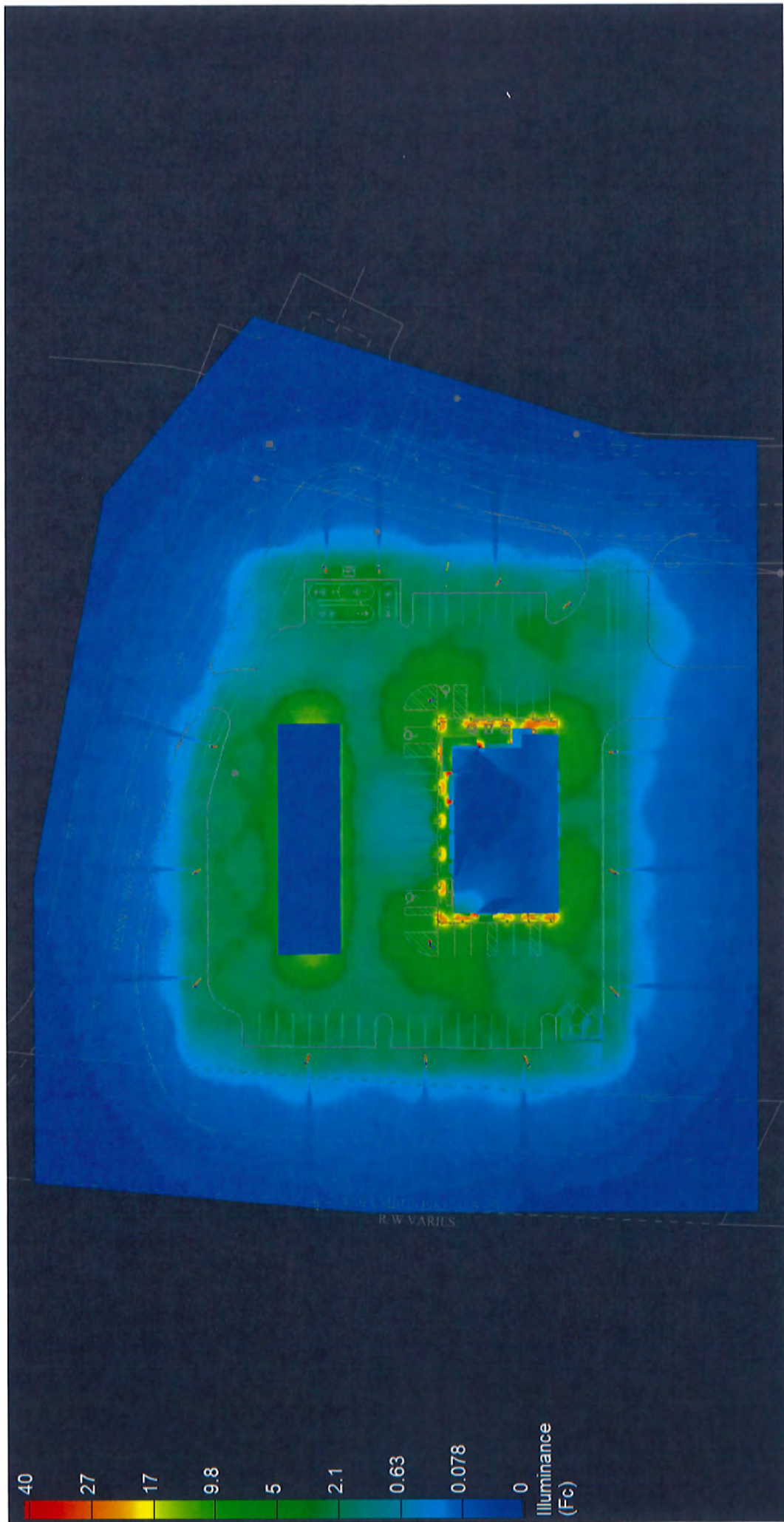


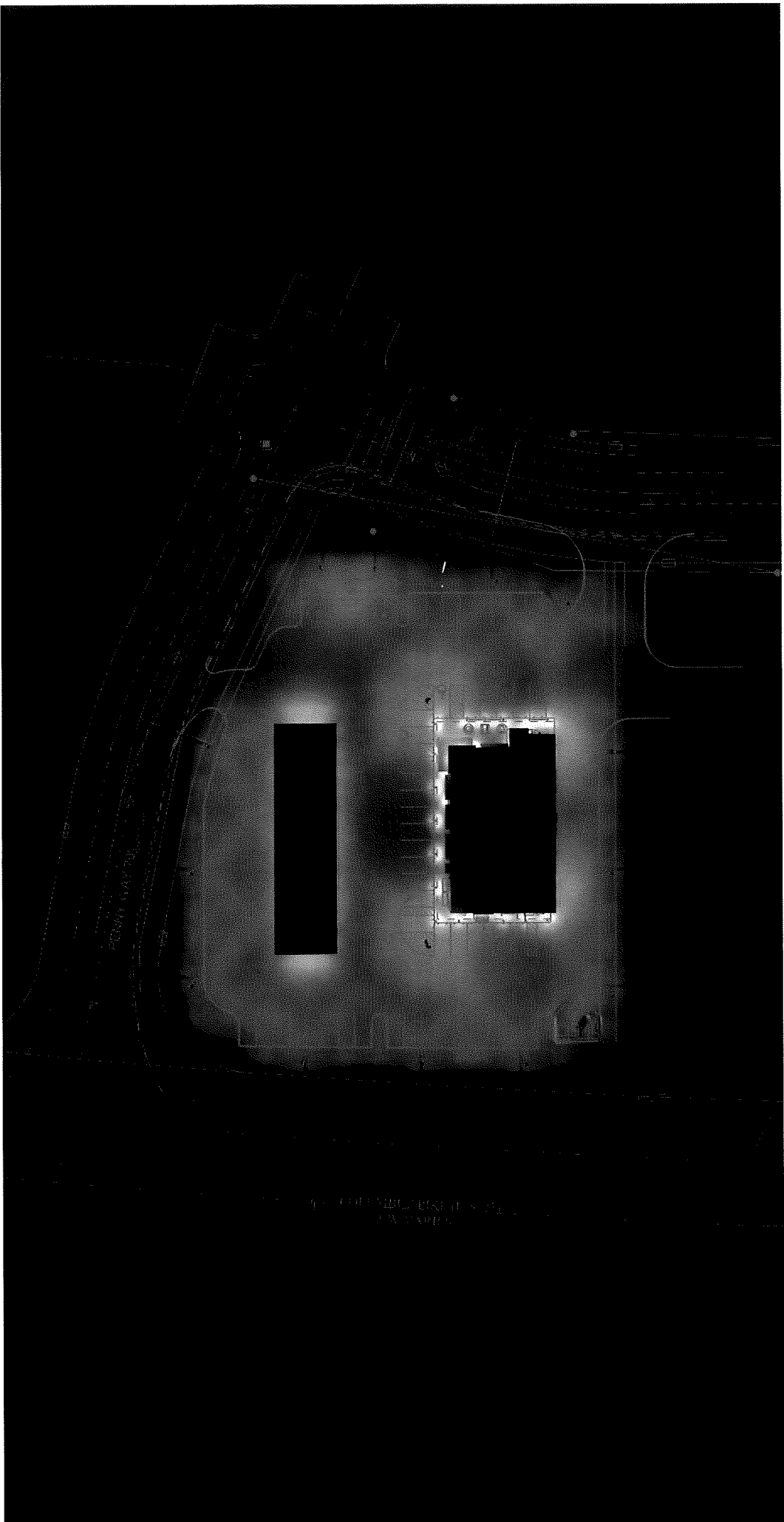
MOUNDING DETAIL

NOTE: SEE ORIGINAL LANDSCAPE PLANS FOR PLANTING SCHEDULES

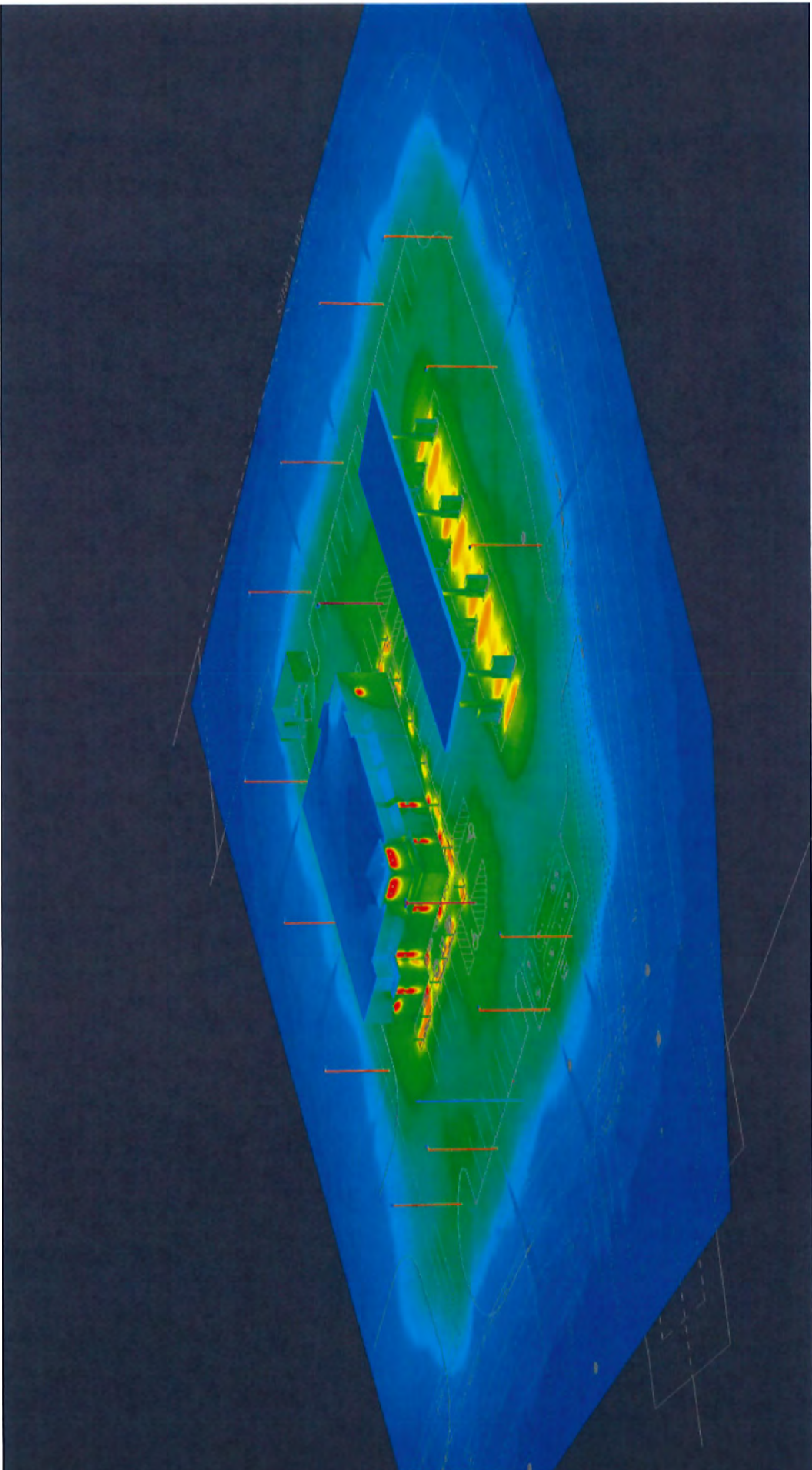
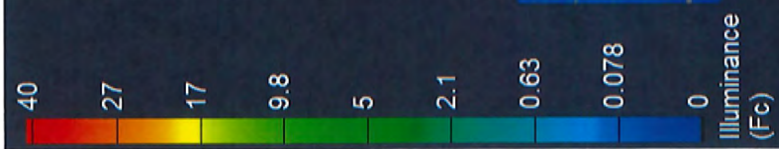




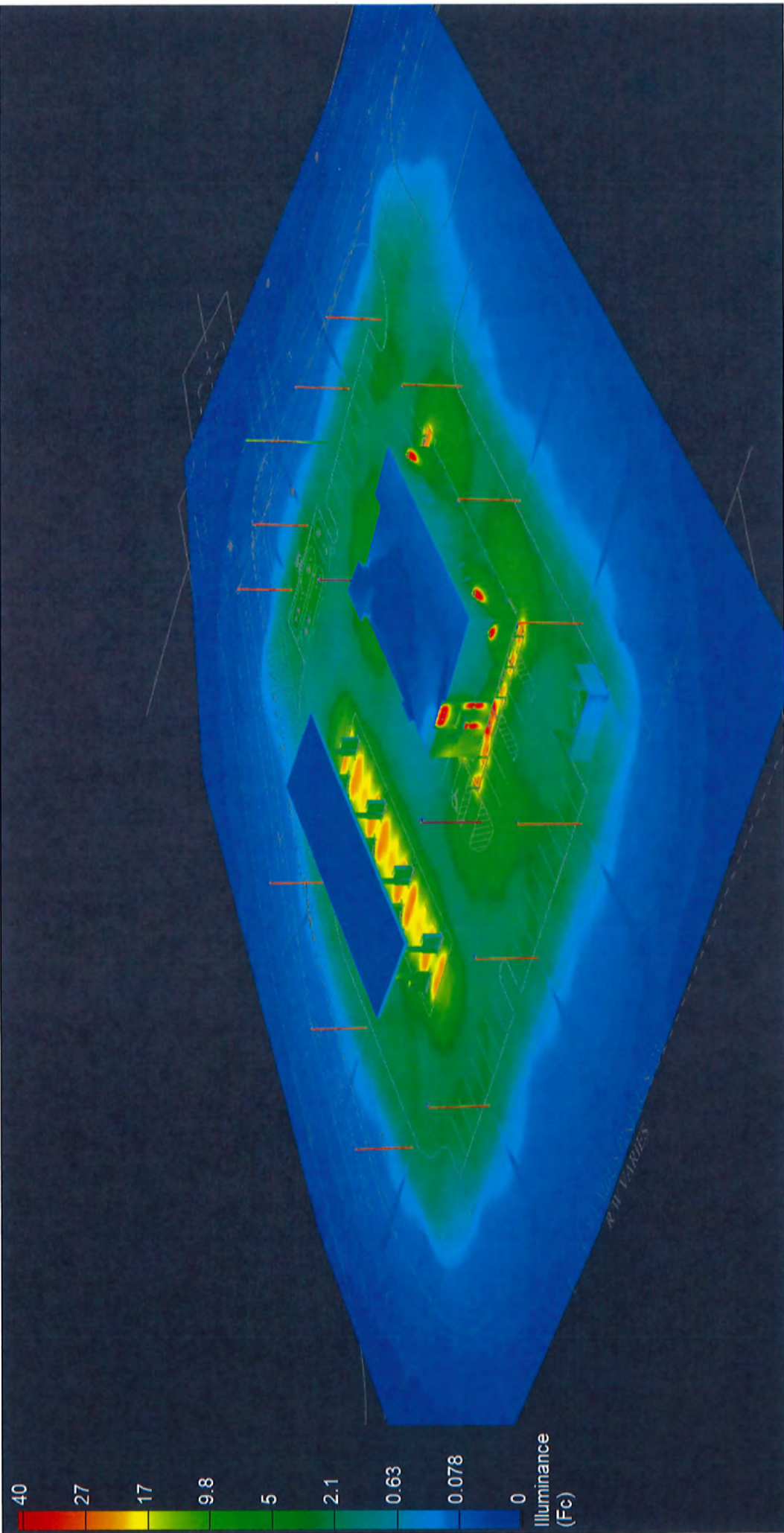


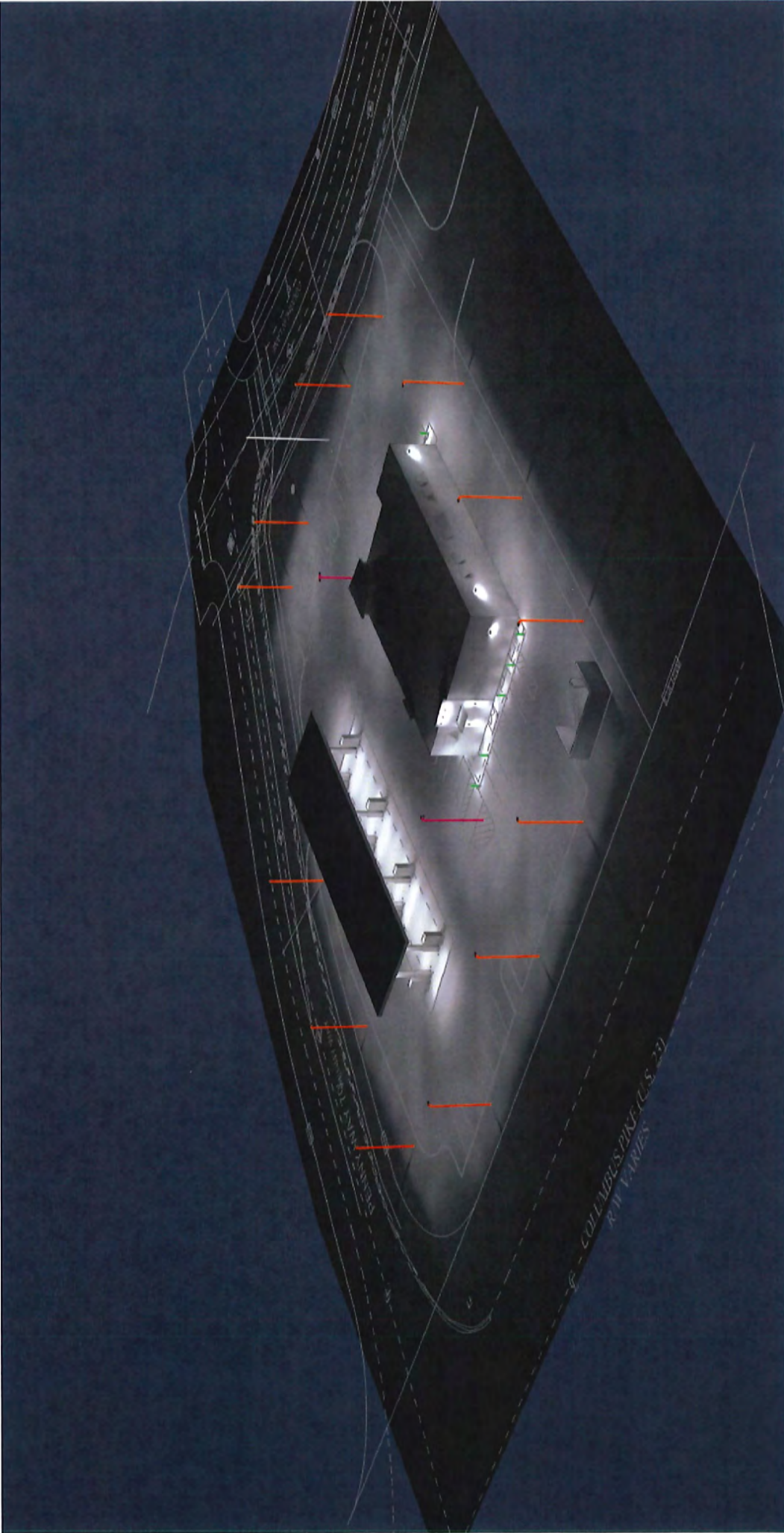


THE UNIVERSITY OF CHICAGO
LIBRARY











PRODUCT	QTY	LABEL	DESCRIPTION
CANOPY			
	 8	A	FLD-OL-15-D2-14-E-UL-XX-700-DIM (SET AT 3.9 V) W/XA-XFR9XX
	 16	B	FLD-OL-40-D4-07-E-UL-XX-700-DIM (SET AT 3.9 V) W/XA-XFR9XX
PATHWAY			
	 16	C	PWY-EDG-3M-P3-02-E-UL-XX-350-57K
WALL MOUNT			
	 2	D	SEC-EDG-3M-WM-02-E-UL-XX-525
	 2	E	SEC-EDG-3M-WM-04-E-UL-XX-525
FLOOD / AREA			
	 1	F	OSQ-AAXX W/PGM-1 + OSQ-A-NM-15D-B-57K-UL-XX
	 2	J	OSQ-DAXX + OSQ-A-NM-4ME-B-57K-UL-XX
	 13	K	OSQ-DAXX + OSQ-A-NM-4ME-B-57K-UL-XX-Q6 W_OSQ-BLSMF
WALL MOUNT			
	 10	G	RA8-LED1140-XX-3 + 3SL23XX

EXCELLENCE TODAY AND INTO THE **FUTURE** ▶▶▶

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OL Series™

LED Linear Flood Luminaire

Product Description

Slim low profile design. Luminaire is constructed from rugged die cast aluminum housing and die cast end caps for superior heat dissipation and durability. Integral weather-tight LED driver compartment and high performance aluminum heat sinks. Rugged die cast mounting pads provide for solid and secure luminaire mounting. Optional field adjustable extruded mounting arms to space luminaire up to 18" (457mm) away from the mounting surface. Luminaire body is rotatable 360° in 5° increments for proper aiming and uniform illumination. Rotation is clearly marked with index marks on end caps.

Applications: Building facades, accent and sign lighting



Performance Summary

Patented NanoOptic® Product Technology

Assembled in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI (5700K); 80 CRI (3500K & 4000K)

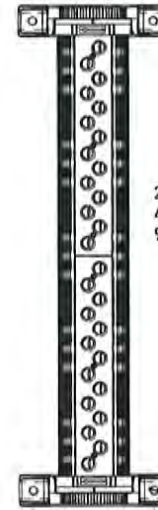
CCT: 3500K (+/- 100K), 4000K (+/- 300K), 5700K (+/- 500K) standard

Limited Warranty¹: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

¹ See <http://lighting.cree.com/warranty> for warranty terms

Accessories

Field-Installed		
9" (229mm) Extension Arm Spaces luminaire center 9" (229mm) away from the mounting surface XA-XFR9SV XA-XFR9WH XA-XFR9BK XA-XFR9BZ	12" (305mm) Extension Arm Spaces luminaire center 12" (305mm) away from the mounting surface XA-XFR12SV XA-XFR12WH XA-XFR12BK XA-XFR12BZ	18" (457mm) Extension Arm Spaces luminaire center 18" (457mm) away from the mounting surface XA-XFR18SV XA-XFR18WH XA-XFR18BK XA-XFR18BZ



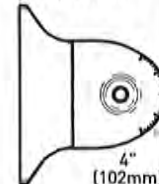
25.3" (0.64mm) for 2"^{*}
 48.5" (1.2mm) for 4"^{*}
 95.9" (2.4mm) for 8"^{*}

6.5" (165mm)

0.4 Mounting Holes (4 Places) for Customer Supplied 3/8" (9.2mm) Mounting Bolts

6.5" (165mm)

^{*} For overall dimensions add 1.7" (43mm) to the dimensions above



4" (102mm)

Ordering Information

Example: FLD-DL-2M-D2-07-E-UL-SV-350

Product	Optic	Mounting	LED Count per Foot	Series	Voltage	Color Options	Drive Current	Options
FLD-DL				E				
FLD-DL	2M Type II Medium 15 15° Flood 25 25° Flood 40 40° Flood N6 NEMA 6® SN Sign	D2 2' (0.6m) Direct Rotatable D4 4' (1.2m) Direct Rotatable D8 8' (2.4m) Direct Rotatable	07 14	E	UL Universal 120-277V UH Universal 347-480V - Available with 14 LEDs per foot only	BK Black BZ Bronze SV Silver WH White	350 350mA 525 525mA 700 700mA	DIM 0-10V Dimming - When ordering with D2 mount, minimum of 14 LEDs per foot required - Control by others - Refer to Dimming spec sheet for details - Can't exceed specified drive current 35K 3500K Color Temperature - Color temperature per light bar - Minimum 80 CRI 40K 4000K Color Temperature - Color temperature per light bar - Minimum 80 CRI



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Rev. Date: V2 10/04/2018

Canada: www.cree.com/canada



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OL Series™ LED Linear Flood Luminaire

Product Specifications


CONSTRUCTION & MATERIALS

- Slim low profile design
- Luminaire is constructed from rugged extruded aluminum housing and die cast end caps for superior heat dissipation and durability
- Integral weathertight LED driver compartment and high performance aluminum heat sinks
- Rugged die cast mounting pads provide for solid and secure luminaire mounting
- Optional field installable extruded aluminum arms to space luminaire up to 18" (457mm) away from the mounting surface
- Luminaire body is rotatable 360° in 5° increments for proper aiming and uniform illumination. Rotation is marked on end caps with index marks
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Silver, bronze, black, and white are available

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- 36" (914mm) outdoor rated flexible cord provided for electrical connection
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Meets FCC Part 15, Subpart B, Class A standards for conducted and radiated emissions
- Enclosure rated IP66 per IEC 60529
- Consult factory for CE Certified products
- 10kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- RoHS Compliant
- Meets Buy American requirements within ARRA
-  **CA RESIDENTS WARNING:** Cancer and Reproductive Harm – www.p65warnings.ca.gov

Electrical Data*								
Size	LED Count per Foot	System Waits 120-480V	Total Current (A)					
			120V	208V	240V	277V	347V	480V
350mA								
2 ft. (0.6m)	07	19	0.16	0.11	0.08	0.09	N/A	N/A
	14	35	0.28	0.18	0.18	0.16	0.11	0.09
4 ft. (1.2m)	07	35	0.28	0.18	0.18	0.16	N/A	N/A
	14	64	0.54	0.32	0.28	0.25	0.15	0.19
8 ft. (2.4m)	07	64	0.54	0.32	0.28	0.25	N/A	N/A
	14	126	1.10	0.65	0.58	0.53	0.26	0.36
525mA								
2ft (0.6m)	07	25	0.21	0.16	0.11	0.09	N/A	N/A
	14	50	0.41	0.25	0.22	0.20	0.12	0.15
4ft (1.2m)	07	50	0.41	0.25	0.22	0.20	N/A	N/A
	14	94	0.81	0.48	0.41	0.37	0.28	0.21
8ft (2.4m)	07	94	0.81	0.48	0.41	0.37	N/A	N/A
	14	187	1.61	0.94	0.81	0.73	0.55	0.41
700mA								
2 ft. (0.6m)	07	37	0.32	0.23	0.17	0.18	N/A	N/A
	14	66	0.55	0.33	0.29	0.26	0.20	0.15
4 ft. (1.2m)	07	66	0.55	0.33	0.29	0.26	N/A	N/A
	14	126	1.09	0.64	0.54	0.48	0.37	0.27
8 ft. (2.4m)	07	126	1.09	0.64	0.54	0.48	N/A	N/A
	14	251	2.17	1.26	1.08	0.96	0.73	0.54

* Electrical data at 25°C (77°F)

OL Series™ Ambient Adjusted Lumen Maintenance ¹					
Ambient	Initial LMF	25K hr Projected ² LMF	50K hr Projected ² LMF	75K hr Calculated ³ LMF	100K hr Calculated ³ LMF
5°C (41°F)	1.04	1.01	0.99	0.98	0.96
10°C (50°F)	1.03	1.00	0.98	0.97	0.95
15°C (59°F)	1.02	0.99	0.97	0.96	0.94
20°C (68°F)	1.01	0.98	0.96	0.95	0.93
25°C (77°F)	1.00	0.97	0.95	0.94	0.92

¹Lumen maintenance values at 4000K and 25°C are calculated per TM-21 based on LM-80 data and in-situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors.
²In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing (DUT) i.e. the packaged LED chip
³In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing (DUT) i.e. the packaged LED chip

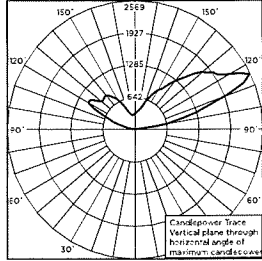


OL Series™ LED Linear Flood Luminaire

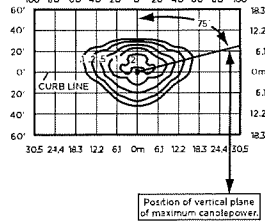
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/flood/ol-series>

2M



ITL Test Report #: 69283
 FLD-OL-2M-D2-14-D-UL-700
 Initial Delivered Lumens: 3,867



FLD-OL-2M-D2-14-E-UL-700
 Mounting Height: 15' (4.6m) A.F.G.
 Initial Delivered Lumens: 3,922
 Initial FC at grade

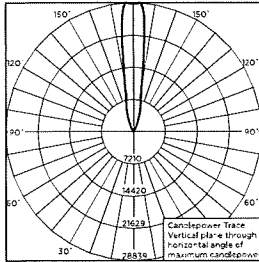
Type II Medium Distribution				
Size	LED Count per Foot	3500K	4000K	5700K
		Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
350mA				
2 ft. (0.6m)	07	896	954	1,087
	14	1,757	1,870	2,131
4 ft. (1.2m)	07	1,793	1,908	2,174
	14	3,515	3,740	4,262
8 ft. (2.4m)	07	3,585	3,816	4,348
	14	7,030	7,480	8,524
525mA				
2 ft. (0.6m)	07	1,309	1,329	1,587
	14	2,566	2,730	3,112
4ft (1.2m)	07	2,617	2,784	3,174
	14	5,132	5,460	6,224
8ft (2.4m)	07	5,235	5,568	6,348
	14	10,263	10,920	12,448
700mA				
2ft (.6m)	07	1,649	1,755	2,000
	14	3,234	3,440	3,922
4 ft. (1.2m)	07	3,298	3,510	4,000
	14	6,467	6,880	7,844
8 ft. (2.4m)	07	6,597	7,020	8,000
	14	12,934	13,760	15,688

* Initial delivered lumens at 25°C (77°F)

Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/flood/ol-series>

15



ITL Test Report #: 68860
 FLD-OL-15-RD-24-14-D-UL-700
 Initial Delivered Lumens: 5,080

15° Flood Distribution				
Size	LED Count per Foot	3500K	4000K	5700K
		Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
350mA				
2 ft. [0.6m]	07	1,161	1,236	1,409
	14	2,277	2,423	2,762
4 ft. [1.2m]	07	2,323	2,472	2,818
	14	4,554	4,846	5,524
8 ft. [2.4m]	07	4,646	4,944	5,636
	14	9,109	9,692	11,048
525mA				
2 ft. [0.6m]	07	1,696	1,804	2,056
	14	3,325	3,537	4,032
4 ft. [1.2m]	07	3,391	3,608	4,112
	14	6,649	7,074	8,064
8 ft. [2.4m]	07	6,783	7,216	8,224
	14	13,299	14,148	16,128
700mA				
2 ft. [0.6m]	07	2,137	2,273	2,592
	14	4,190	4,457	5,082
4 ft. [1.2m]	07	4,274	4,546	5,184
	14	8,380	8,914	10,164
8 ft. [2.4m]	07	8,548	9,092	10,368
	14	16,760	17,828	20,328

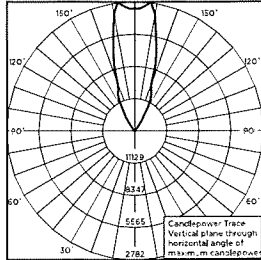
* Initial delivered lumens at 25° C (77° F)

OL Series™ LED Linear Flood Luminaire

Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/flood/ol-series>

25



ITL Test Report #: 68425
 FLD-OL-25-RD-24-14-D-UL-700
 Initial Delivered Lumens: 5,132

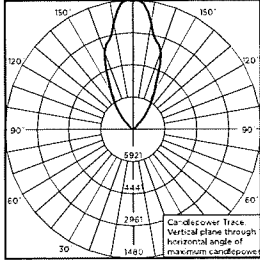
25° Flood Distribution				
Size	LED Count per Foot	3500K	4000K	5700K
		Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
350mA				
2 ft. (0.6m)	07	1,161	1,236	1,409
	14	2,277	2,423	2,762
4 ft. (1.2m)	07	2,323	2,472	2,818
	14	4,554	4,866	5,524
8 ft. (2.4m)	07	4,646	4,944	5,636
	14	9,109	9,692	11,048
525mA				
2 ft. (0.6m)	07	1,696	1,804	2,056
	14	3,325	3,537	4,032
4 ft. (1.2m)	07	3,391	3,608	4,112
	14	6,649	7,074	8,064
8 ft. (2.4m)	07	6,783	7,216	8,224
	14	13,299	14,148	16,128
700mA				
2 ft. (0.6m)	07	2,137	2,273	2,592
	14	4,190	4,457	5,082
4 ft. (1.2m)	07	4,274	4,546	5,184
	14	8,380	8,914	10,164
8 ft. (2.4m)	07	8,548	9,092	10,368
	14	16,760	17,828	20,328

* Initial delivered lumens at 25°C (77°F)

Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/flood/ol-series>

40



ITL Test Report #: 68434
 FLD-OL-40-RD-24-14-D-UL-700
 Initial Delivered Lumens: 4588

40° Flood Distribution				
Size	LED Count per Foot	3500K	4000K	5700K
		Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
350mA				
2 ft. [0.6m]	07	1,048	1,115	1,271
	14	2,054	2,186	2,492
4 ft. [1.2m]	07	2,096	2,229	2,542
	14	4,109	4,371	4,983
8 ft. [2.4m]	07	4,191	4,459	5,083
	14	8,218	8,742	9,966
525mA				
2 ft. [0.6m]	07	1,530	1,627	1,855
	14	2,999	3,191	3,638
4 ft. [1.2m]	07	3,060	3,255	3,711
	14	5,999	6,382	7,275
8 ft. [2.4m]	07	6,119	6,510	7,421
	14	11,998	12,764	14,551
700mA				
2 ft. [0.6m]	07	1,928	2,051	2,338
	14	3,780	4,021	4,584
4 ft. [1.2m]	07	3,856	4,102	4,676
	14	7,560	8,043	9,169
8 ft. [2.4m]	07	7,712	8,204	9,353
	14	15,121	16,086	18,338

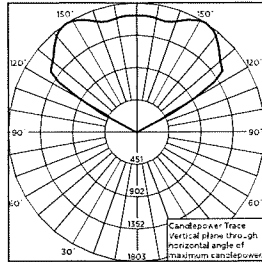
* Initial delivered lumens at 25°C (77°F)

OL Series™ LED Linear Flood Luminaire

Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/flood/ol-series>

N6



ITL Test Report #: 68935
 FLD-OL-N6-R0-24-14-D-UL-700
 Initial Delivered Lumens: 4,702

NEMA® 6 Distribution				
Size	LED Count per Foot	3500K	4000K	5700K
		Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
350mA				
2 ft. (0.6m)	07	1,086	1,155	1,317
	14	2,129	2,265	2,582
4 ft. (1.2m)	07	2,171	2,310	2,634
	14	4,257	4,530	5,164
8 ft. (2.4m)	07	4,343	4,620	5,268
	14	8,515	9,060	10,328
525mA				
2 ft. (0.6m)	07	1,585	1,686	1,922
	14	3,108	3,306	3,769
4 ft. (1.2m)	07	3,170	3,372	3,844
	14	6,216	6,612	7,538
8 ft. (2.4m)	07	6,340	6,744	7,688
	14	12,432	13,224	15,076
700mA				
2 ft. (0.6m)	07	1,998	2,125	2,423
	14	3,917	4,167	4,750
4 ft. (1.2m)	07	3,995	4,250	4,846
	14	7,834	8,334	9,500
8 ft. (2.4m)	07	7,991	8,500	9,692
	14	15,667	16,668	19,000

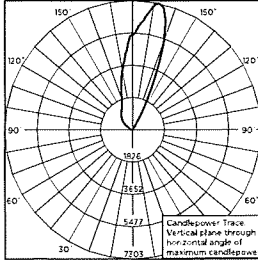
* Initial delivered lumens at 25°C (77°F)

OL Series™ LED Linear Flood Luminaire

Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/flood/ol-series>

SN



ITL Test Report #: 68433
 FLD-OL-SN-RD-24-14-D-UL-700
 Initial Delivered Lumens: 4,506

Sign Optic Distribution				
Size	LED Count per Foot	3500K	4000K	5700K
		Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
350mA				
2 ft. [0.6m]	07	1,048	1,115	1,271
	14	2,054	2,186	2,492
4 ft. [1.2m]	07	2,096	2,229	2,542
	14	4,109	4,371	4,984
8 ft. [2.4m]	07	4,191	4,459	5,084
	14	8,218	8,742	9,962
525mA				
2 ft. [0.6m]	07	1,530	1,627	1,855
	14	2,999	3,191	3,638
4 ft. [1.2m]	07	3,060	3,255	3,710
	14	5,999	6,382	7,276
8 ft. [2.4m]	07	6,119	6,510	7,420
	14	11,998	12,764	14,552
700mA				
2 ft. [0.6m]	07	1,928	2,051	2,338
	14	3,780	4,021	4,584
4 ft. [1.2m]	07	3,856	4,102	4,676
	14	7,560	8,043	9,168
8 ft. [2.4m]	07	7,712	8,204	9,352
	14	15,121	16,086	18,336

* Initial delivered lumens at 25°C (77°F)



Cree Edge™ Series

LED Pathway Luminaire

Product Description

Durable die-cast aluminum luminaire housing mounts directly to 4" (102mm) diameter pole (included) without visible mounting hardware for clean appearance. Pole mounts to rugged die cast aluminum internal flange secured by three 3/8" - 16x6" anchor bolts with 1-1/4" hook (provided). **Note:** T45 Torx 3/8" socket required for head installation. Top mounted LEDs for superior optical performance and light control.

Applications: Landscape, walk-ways and general site lighting

Performance Summary

Patented NanoOptic® Product Technology

Assembled in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI

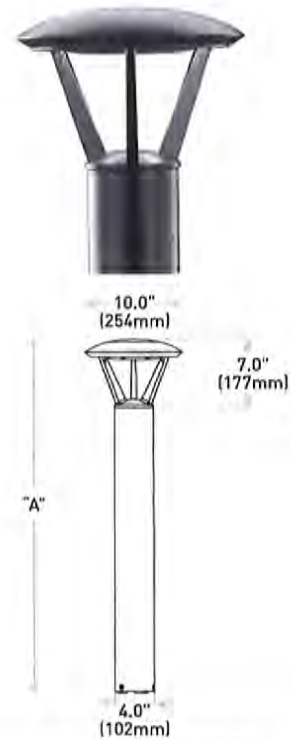
CCT: 4000K (+/- 300K), 5700K (+/- 500K) standard

Limited Warranty*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

* See <http://lighting.cree.com/warranty> for warranty terms

Accessories

Field-Installed	
Upgrade Kit	
- Used for replacement of existing bollards with a bolt hole circle of 5.75" (146mm)	
XA-XBP8RSV	XA-XBP8RWH
XA-XBP8RBK	XA-XBP8RBZ



Model	Dim. "A"	Weight*
Landscape [P0]	13" (330mm)	12.7 lbs. (5.8kg)
Landscape [P1]	18" (457mm)	13.3 lbs. (6.0kg)
Pathway [P3]	36" (914mm)	17.9 lbs. (8.1kg)
Pathway [P4]	42" (1068mm)	18.6 lbs. (8.4kg)
Pedestrian [P8]	96" (2438mm)	28.4 lbs (12.9kg)

* Add 4.5 lbs. (2.0kg) for 347-480V

Ordering Information

Example: PWY-EDG-2M-P0-02-E-UL-SV-350

PWY-EDG	Product	Optic	Mounting	LED Count (x9)	Series	Voltage	Color Options	Drive Current	Options
PWY-EDG	2M Type II Medium	P0 13" (330mm) landscape		02	E	UL Universal 120-277V	BK Black	350 350mA	F Fuse - When code dictates fusing, use time delay fuse - Available for U.S. applications only
	3M Type III Medium	P1 18" (457mm) landscape				UH* Universal 347-480V	BZ Bronze	525 525mA	TL Two-Level (175/525 w/integrated sensor control) - Available with 12 or 27 voltages only - Refer to TL spec sheet for details
	5M Type V Medium	P3 36" (914mm) pathway				- Available with P3, P4, and P8 mounts only	SV Silver	- Available with P1, P3, P4, and P8 mounts only	WB Welded Base Plate - Standard on P8 mount option, available with P3 and P4 mount - Includes welded base cover
	5S Type V Short	P4 42" (1067mm) pathway				12 120V	WH White		40K 4000K Color Temperature - Minimum 70 CRI - Color temperature per luminaire
		P8 96" (2438mm) pedestrian				27 277V			
						- Available only with TL option			
						- Available only with TL option			

* 347-480V utilizes magnetic step-down transformer. For input power for 347-480V, refer to the Electrical Data table



US: lighting.cree.com



T (800) 236-6800 F (262) 504-5415

Rev. Date: V6 12/10/2018

Canada: www.cree.com/canada



T (800) 473-1234 F (800) 890-7507

Cree Edge™ LED Pathway Luminaire

Product Specifications

CONSTRUCTION & MATERIALS

- Durable die-cast aluminum luminaire housing mounts directly to 4" (102mm) diameter pole (included) without visible mounting hardware for clean appearance
- Pole mounts to rugged die cast aluminum internal flange secured by three 3/8" - 16x6" anchor bolts with 1-1/4" hook (provided).
Note: T45 Torx 3/8" socket required for head installation
- Top mounted LEDs for superior optical performance and light control
- Open design, passive thermal management for superior lumen maintenance
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultradurable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Black, bronze, silver and white are available
- **Weight:** See Dimension and Weight Chart on pages 1 and 4

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load at 120V
- **Total Harmonic Distortion:** < 20% at full load at 120V
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- 10kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- Meets Buy American requirements within ARRA
- RoHS compliant. Consult factory for additional details
- **CA RESIDENTS WARNING:** Cancer and Reproductive Harm – www.p65warnings.ca.gov

Electrical Data*								
LED Count (x9)	System Watts 120-277V	System Watts 347-480V	Total Current (A)					
			120V	208V	240V	277V	347V	480V
350mA								
02	22	28	0.18	0.12	0.10	0.10	0.09	0.13
525mA								
02	34	40	0.29	0.19	0.17	0.15	0.12	0.13

* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-480V +/- 10%.

Cree Edge™ Series Ambient Adjusted Lumen Maintenance ¹					
Ambient	Initial LMF	25K hr Projected ² LMF	50K hr Projected ² LMF	75K hr Calculated ³ LMF	100K hr Calculated ³ LMF
5°C (41°F)	1.04	1.01	0.99	0.98	0.96
10°C (50°F)	1.03	1.00	0.98	0.97	0.95
15°C (59°F)	1.02	0.99	0.97	0.96	0.94
20°C (68°F)	1.01	0.98	0.96	0.95	0.93
25°C (77°F)	1.00	0.97	0.95	0.94	0.92

Lumen maintenance values at 25°C (77°F) are calculated per TM-21 based on LM-80 data and in-situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors. Please refer to the [Temperature Zone Reference Document](#) for outdoor average nighttime ambient conditions.

² In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing (DUT) i.e. the packaged LED chip.

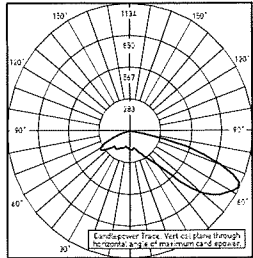
³ In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing (DUT) i.e. the packaged LED chip.

Cree Edge™ LED Pathway Luminaire

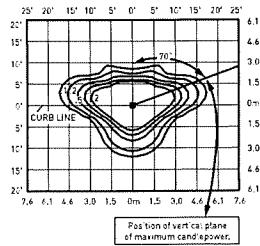
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/bollards-and-pathway/cree-edge-pathway>

2M



RESTL Test Report #: PL5758-001
 PWY-EDG-2M-**-02-E-UL-350-40K
 Initial Delivered Lumens: 1,549

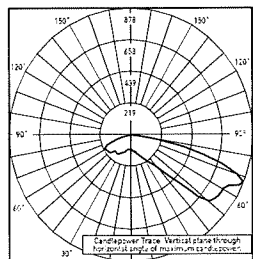


PWY-EDG-2M-**-02-E-UL-350-40K
 Mounting Height: 3' [0.9m] A.F.G.
 Initial Delivered Lumens: 1,565
 Initial FC at grade

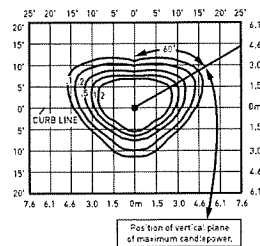
Type II Medium Distribution				
LED Count [x9]	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	1,565	B1 U0 G1	1,625	B1 U0 G1
525mA				
02	2,191	B1 U0 G1	2,276	B1 U0 G1

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens.
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

3M



RESTL Test Report #: PL5698-001
 PWY-EDG-3M-**-02-E-UL-350-40K
 Initial Delivered Lumens: 1,470

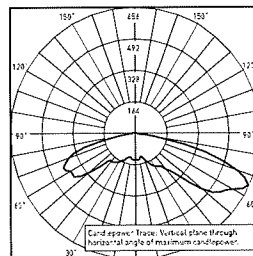


PWY-EDG-3M-**-02-E-UL-350-40K
 Mounting Height: 3' [0.9m] A.F.G.
 Initial Delivered Lumens: 1,389
 Initial FC at grade

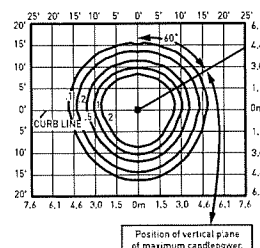
Type III Medium Distribution				
LED Count [x9]	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	1,389	B1 U0 G1	1,442	B1 U0 G1
525mA				
02	1,944	B1 U0 G1	2,019	B1 U0 G1

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens.
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

5M



RESTL Test Report #: PL5798-001
 PWY-EDG-5M-**-02-E-UL-350-40K
 Initial Delivered Lumens: 1,780



PWY-EDG-5M-**-02-E-UL-350-40K
 Mounting Height: 3' [0.9m] A.F.G.
 Initial Delivered Lumens: 1,666
 Initial FC at grade

Type V Medium Distribution				
LED Count [x9]	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	1,666	B1 U2 G1	1,730	B1 U2 G1
525mA				
02	2,333	B2 U2 G2	2,422	B2 U2 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens.
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

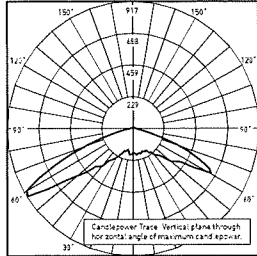


Cree Edge™ LED Pathway Luminaire

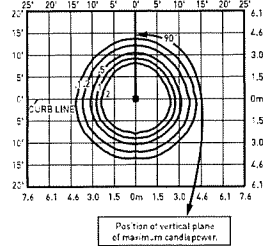
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: <http://lighting.cree.com/products/outdoor/bollards-and-pathway/cree-edge-pathway>

55



RESTL Test Report #: PL5759-001
 PWY-EDG-55-**-02-E-UL-350-40K
 Initial Delivered Lumens: 1,897

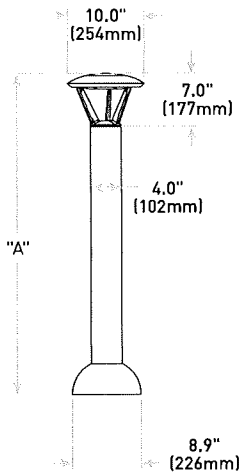


PWY-EDG-55-**-02-E-UL-350-40K
 Mounting Height: 3' (0.9m) A.F.G.
 Initial Delivered Lumens: 1,868
 Initial FC at grade

Type V Short Distribution				
LED Count (x9)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	1,868	B1 U2 G1	1,940	B1 U2 G1
525mA				
02	2,615	B1 U2 G1	2,716	B1 U2 G1

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

with Welded Base



Model	Dim. "A"	Weight*
Pathway (P3)	36" (914mm)	17.9 lbs. (8.1kg)
Pathway (P4)	42" (1068mm)	18.6 lbs. (8.4kg)
Pedestrian (P8)	96" (2438mm)	28.4 lbs (12.9kg)

* Add 4.5 lbs. (2.0kg) for 347-480V

Cree Edge® Series

LED Security Wall Pack Luminaire

Rev. Date: V6 08/29/2019

Product Description

The Cree Edge® wall mount luminaire has a slim, low profile design. The luminaire end caps are made from rugged die cast aluminum with integral, weathertight LED driver compartments and high performance aluminum heat sinks specifically designed for LED applications. Housing is rugged aluminum. Includes a lightweight mounting box for installation over standard and mud ring single gang J-Boxes. Secures to wall with four 3/16" (5mm) screws (by others). Conduit entry from top, bottom, sides and rear. Allows mounting for uplight or downlight. Designed and approved for easy through-wiring. Includes leaf/debris guard.

Applications: General area and security lighting



Performance Summary

Patented NanoOptic® Product Technology

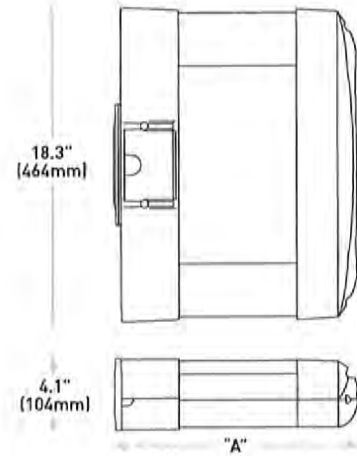
Assembled in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI

CCT: 4000K (+/- 300K), 5700K (+/- 500K) standard

Limited Warranty¹: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

¹ See <http://creelighting.com/warranty> for warranty terms



Accessories

Field-Installed		
Bird Spikes XA-BRDSPK	Beauty Plate WM-PLT12** - 12" (305mm) Square WM-PLT14** - 14" (356mm) Square - Covers holes left by incumbent wall packs	Hand-Held Remote XA-SENSREM - For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required

** Must specify color

LED Count (x10)	Dim. "A"	Weight
02	9.9" [251mm]	20 lbs. [9.1kg]
04	11.9" [303mm]	22 lbs. [10.0kg]
06	13.9" [353mm]	25 lbs. [11.3kg]
08	15.9" [404mm]	27 lbs. [12.2kg]
10	17.9" [455mm]	31 lbs. [14.1kg]
12	19.9" [505mm]	32 lbs. [14.5kg]

Ordering Information

Example: SEC-EDG-2M-WM-06-E-UL-SV-700

SEC-EDG		WM		E				
Product	Optic	Mounting	LED Count (x10)	Series	Voltage	Color Options	Drive Current	Options
SEC-EDG	2M Type II Medium 2MB Type II Medium w/BLS 2S Type II Short 2SB Type II Short w/BLS 3M Type III Medium 3MB Type III Medium w/BLS 4M Type IV Medium 4MB Type IV Medium w/BLS	WM Wall Mount	02 04 06 08 10 12	E	UL Universal 120-277V UH Universal 347-480V 34 34TV	BK Black BZ Bronze SV Silver WH White	350 350mA 525 525mA -Available with 20-80 LEDs 700 700mA -Available with 20-60 LEDs	DIM 0-10V Dimming - Control by others - Refer to Dimming spec sheet for details - Can't exceed specified drive current - Not available with PML option P Photocell - Must specify UL or 34 voltage PML Programmable Multi-Level - Refer to PML spec sheet for details - Intended for downlight applications with 0° tilt 40K 4000K Color Temperature - Minimum 70 CRI - Color temperature per luminaire



US: creelighting.com (800) 236-6800

Canada: creelighting-canada.com (800) 473-1234

CREE ⇄ LIGHTING

Cree Edge® LED Security Wall Pack Luminaire

Product Specifications

CONSTRUCTION & MATERIALS

- Slim, low profile design
- Luminaire sides are rugged die cast aluminum with integral, weathertight LED driver compartment and high performance aluminum heat sinks specifically designed for LED applications
- Housing is rugged aluminum
- Furnished with low copper, light weight mounting box designed for installation over standard and mud ring single gang J-Boxes
- Luminaire can also be direct mounted to a wall and surface wired
- Secures to wall with four 3/16" (5mm) screws (by others)
- Conduit entry from top, bottom, sides, and rear
- Allows mounting for uplight or downlight
- Designed and approved for easy through-wiring
- Includes leaf/debris guard
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultradurable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Black, bronze, silver and white are available
- **Weight:** See Dimensions and Weight Chart on page 1

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- Integral weathertight J-Box with leads (wire nuts) for easy power hook up
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- Consult factory if in-luminaire fusing is required
- **Maximum 10V Source Current:** 20 LED (350mA): 10mA; 20LED (525 & 700 mA) and 40-120 LED: 0.15mA

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions
- Enclosure rated IP66 per IEC 60529 when ordered without P or PML options
- ANSI C136.2 10kV surge protection, tested in accordance with IEEE/ANSI C62.41.2
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- DLC qualified with select SKUs. Refer to <https://www.designlights.org/search/> for most current information
- Meets Buy American requirements within ARRA
- **CA RESIDENTS WARNING:** Cancer and Reproductive Harm - www.p65warnings.ca.gov

Electrical Data*							
LED Count (x10)	System Waits 120-480V	Total Current [A]					
		120V	208V	240V	277V	347V	480V
350mA							
02	25	0.21	0.13	0.11	0.10	0.08	0.07
04	46	0.36	0.23	0.21	0.20	0.15	0.12
06	66	0.52	0.31	0.28	0.26	0.20	0.15
08	90	0.75	0.44	0.38	0.34	0.26	0.20
10	110	0.92	0.53	0.47	0.41	0.32	0.24
12	130	1.10	0.63	0.55	0.48	0.38	0.28
525mA							
02	37	0.30	0.19	0.17	0.16	0.12	0.10
04	70	0.58	0.34	0.31	0.28	0.21	0.16
06	101	0.84	0.49	0.43	0.38	0.30	0.22
08	133	1.13	0.66	0.58	0.51	0.39	0.28
700mA							
02	50	0.41	0.25	0.22	0.20	0.15	0.12
04	93	0.78	0.46	0.40	0.36	0.27	0.20
06	134	1.14	0.65	0.57	0.50	0.39	0.29

* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-277V or 347-480V +/- 10%

Cree Edge® Series Ambient Adjusted Lumen Maintenance ¹					
Ambient	Initial LMF	25K hr Reported ² LMF	50K hr Reported ² LMF	75K hr Estimated ³ LMF	100K hr Estimated ³ LMF
5°C (41°F)	1.04	1.01	0.99	0.98	0.96
10°C (50°F)	1.03	1.00	0.98	0.97	0.95
15°C (59°F)	1.02	0.99	0.97	0.96	0.94
20°C (68°F)	1.01	0.98	0.96	0.95	0.93
25°C (77°F)	1.00	0.97	0.95	0.94	0.92

¹ Lumen maintenance values at 25°C (77°F) are calculated per IES TM-21 based on IES LM-80 report data for the LED package and in-situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors. Please refer to the [Temperature Zone Reference Document](#) for outdoor average nighttime ambient conditions.

² In accordance with IES TM-21, Reported values represent interpolated values based on time durations that are up to 6x the tested duration in the IES LM-80 report for the LED

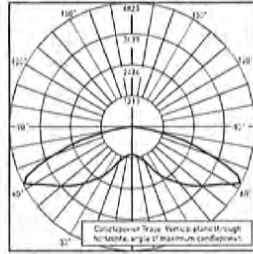
³ Estimated values are calculated and represent time durations that exceed the 6x test duration of the LED

Cree Edge® LED Security Wall Pack Luminaire

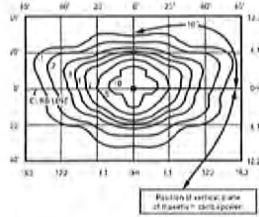
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/wall-mount/cree-edge-series-5>

2M

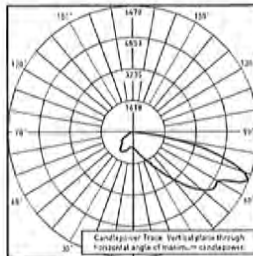


RESTL Test Report #: PL10270-004B
ARE-EDG-2M-**-06-E-UL-525-40K
Initial Delivered Lumens: 10,053

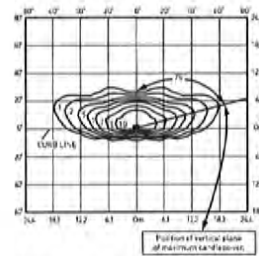


SEC-EDG-2M-**-06-E-UL-700-40K
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 12,425
Initial FC at grade

2MB



RESTL Test Report #: PL10023-003B
ARE-EDG-2MB-**-06-E-UL-525-40K
Initial Delivered Lumens: 7,784



SEC-EDG-2MB-**-06-E-UL-700-40K
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 9,359
Initial FC at grade

Type II Medium Distribution

LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	2,501	B1 U0 G1	2,551	B1 U0 G1
04	5,003	B1 U0 G1	5,102	B1 U0 G1
06	7,418	B2 U0 G2	7,565	B2 U0 G2
08	9,891	B2 U0 G2	10,087	B2 U0 G2
10	12,334	B2 U0 G2	12,578	B2 U0 G2
12	14,801	B3 U0 G3	15,094	B3 U0 G3
525mA				
02	3,550	B1 U0 G1	3,624	B1 U0 G1
04	7,099	B2 U0 G2	7,248	B2 U0 G2
06	10,527	B2 U0 G2	10,748	B2 U0 G2
08	14,037	B3 U0 G3	14,331	B3 U0 G3
700mA				
02	4,189	B1 U0 G1	4,275	B1 U0 G1
04	8,379	B2 U0 G2	8,549	B2 U0 G2
06	12,425	B2 U0 G2	12,678	B2 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

Type II Medium Distribution w/BLS

LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	1,884	B0 U0 G1	1,921	B0 U0 G1
04	3,768	B1 U0 G1	3,843	B1 U0 G1
06	5,588	B1 U0 G1	5,698	B1 U0 G1
08	7,450	B1 U0 G2	7,598	B1 U0 G2
10	9,291	B1 U0 G2	9,475	B1 U0 G2
12	11,149	B1 U0 G2	11,370	B1 U0 G2
525mA				
02	2,674	B0 U0 G1	2,730	B0 U0 G1
04	5,348	B1 U0 G1	5,460	B1 U0 G1
06	7,930	B1 U0 G2	8,096	B1 U0 G2
08	10,573	B1 U0 G2	10,794	B1 U0 G2
700mA				
02	3,156	B0 U0 G1	3,220	B0 U0 G1
04	6,311	B1 U0 G1	6,440	B1 U0 G1
06	9,359	B1 U0 G2	9,549	B1 U0 G2

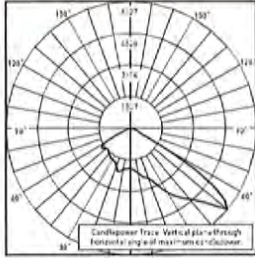
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

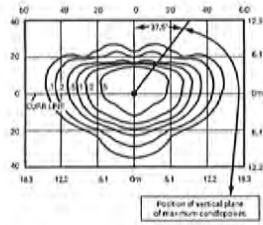
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards. To obtain an IES file specific to your project consult: <http://cree-lighting.com/products/outdoor/wall-mount/cree-edge-series-5>

25

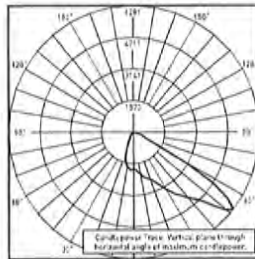


ITL Test Report #: 79175
SEC-EDG-25-**-06-E-UL-700-40K
Initial Delivered Lumens: 11,704

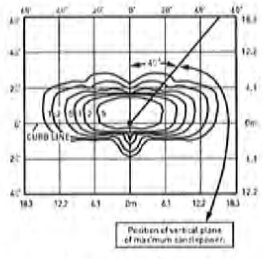


SEC-EDG-25-**-06-E-UL-700-40K
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 13,232
Initial FC at grade

25B



CSA Test Report #: 6454
ARE-EDG-25B-**-06-E-UL-700-40K
Initial Delivered Lumens: 9,202



SEC-EDG-25B-**-06-E-UL-700-40K
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 10,166
Initial FC at grade

Type II Short Distribution

LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	2,664	B1 U0 G1	2,716	B1 U0 G1
04	5,327	B2 U0 G2	5,433	B2 U0 G2
06	7,900	B2 U0 G2	8,056	B2 U0 G2
08	10,533	B3 U0 G3	10,742	B3 U0 G3
10	13,135	B3 U0 G3	13,395	B3 U0 G3
12	15,762	B3 U0 G3	16,074	B3 U0 G3
525mA				
02	3,780	B1 U0 G1	3,859	B1 U0 G1
04	7,560	B2 U0 G2	7,719	B2 U0 G2
06	11,211	B3 U0 G3	11,446	B3 U0 G3
08	14,948	B3 U0 G3	15,261	B3 U0 G3
700mA				
02	4,461	B1 U0 G1	4,552	B1 U0 G1
04	8,923	B2 U0 G2	9,104	B2 U0 G2
06	13,232	B3 U0 G3	13,501	B3 U0 G3

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens.

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

Type II Short Distribution w/BLS

LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	2,046	B0 U0 G1	2,087	B0 U0 G1
04	4,093	B1 U0 G1	4,174	B1 U0 G1
06	6,069	B1 U0 G1	6,190	B1 U0 G1
08	8,093	B1 U0 G1	8,253	B1 U0 G1
10	10,091	B2 U0 G2	10,291	B2 U0 G2
12	12,110	B2 U0 G2	12,350	B2 U0 G2
525mA				
02	2,904	B1 U0 G1	2,965	B1 U0 G1
04	5,809	B1 U0 G1	5,930	B1 U0 G1
06	8,613	B1 U0 G1	8,794	B1 U0 G1
08	11,484	B2 U0 G2	11,725	B2 U0 G2
700mA				
02	3,428	B1 U0 G1	3,497	B1 U0 G1
04	6,855	B1 U0 G1	6,995	B1 U0 G1
06	10,166	B2 U0 G2	10,373	B2 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens.

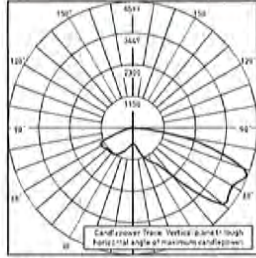
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

Cree Edge® LED Security Wall Pack Luminaire

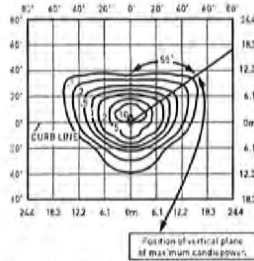
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/wall-mount/cree-edge-series-5>

3M

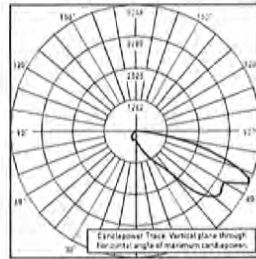


RESTL Test Report #: PL09405-001A
ARE-EDG-3M-**-06-E-UL-525-40K
Initial Delivered Lumens: 9,460

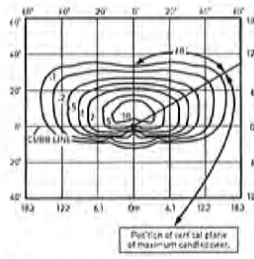


SEC-EDG-3M-**-06-E-UL-700-40K
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 11,779
Initial FC at grade

3MB



RESTL Test Report #: PL10023-001B
ARE-EDG-3MB-**-06-E-UL-525-40K
Initial Delivered Lumens: 7,602



SEC-EDG-3MB-**-06-E-UL-700-40K
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 8,714
Initial FC at grade

Type III Medium Distribution

LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	2,371	B1 U0 G1	2,418	B1 U0 G1
04	4,743	B1 U0 G1	4,837	B1 U0 G1
06	7,033	B2 U0 G2	7,172	B2 U0 G2
08	9,377	B2 U0 G2	9,563	B2 U0 G2
10	11,693	B3 U0 G3	11,925	B3 U0 G3
12	14,032	B3 U0 G3	14,310	B3 U0 G3
525mA				
02	3,365	B1 U0 G1	3,436	B1 U0 G1
04	6,731	B2 U0 G2	6,872	B2 U0 G2
06	9,981	B3 U0 G3	10,190	B3 U0 G3
08	13,307	B3 U0 G3	13,586	B3 U0 G3
700mA				
02	3,972	B1 U0 G1	4,053	B1 U0 G1
04	7,944	B2 U0 G2	8,105	B2 U0 G2
06	11,779	B3 U0 G3	12,019	B3 U0 G3

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens.

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingAddendum.pdf>

Type III Medium Distribution w/BLS

LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	1,754	B0 U0 G1	1,789	B0 U0 G1
04	3,508	B1 U0 G1	3,578	B1 U0 G1
06	5,202	B1 U0 G2	5,305	B1 U0 G2
08	6,936	B1 U0 G2	7,074	B1 U0 G2
10	8,650	B1 U0 G2	8,821	B1 U0 G2
12	10,380	B1 U0 G3	10,585	B1 U0 G3
525mA				
02	2,489	B0 U0 G1	2,542	B0 U0 G1
04	4,979	B1 U0 G2	5,083	B1 U0 G2
06	7,383	B1 U0 G2	7,538	B1 U0 G2
08	9,844	B1 U0 G2	10,050	B1 U0 G3
700mA				
02	2,938	B1 U0 G1	2,998	B1 U0 G1
04	5,876	B1 U0 G2	5,996	B1 U0 G2
06	8,714	B1 U0 G2	8,891	B1 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens.

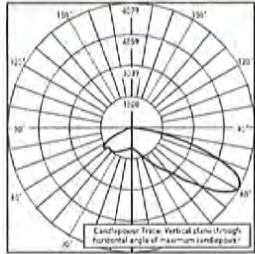
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingAddendum.pdf>

Cree Edge® LED Security Wall Pack Luminaire

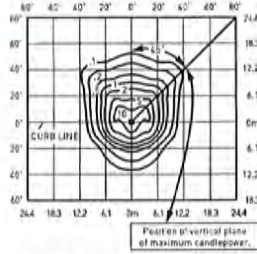
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/wall-mount/cree-edge-series-5>

4M



RESTL Test Report #: PL10270-001B
 ARE-EDG-4M-**-06-E-UL-525-40K
 Initial Delivered Lumens: 10,483



SEC-EDG-4M-**-06-E-UL-700-40K
 Mounting Height: 10' (3.0m) A.F.G.
 Initial Delivered Lumens: 12,425
 Initial FC at grade

Type IV Medium Distribution				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	2,501	B1 U0 G1	2,551	B1 U0 G1
04	5,003	B2 U0 G1	5,102	B2 U0 G1
06	7,418	B2 U0 G2	7,565	B2 U0 G2
08	9,891	B2 U0 G2	10,087	B2 U0 G2
10	12,334	B3 U0 G3	12,578	B3 U0 G3
12	14,801	B3 U0 G3	15,094	B3 U0 G3
525mA				
02	3,550	B1 U0 G1	3,624	B1 U0 G1
04	7,099	B2 U0 G2	7,248	B2 U0 G2
06	10,527	B2 U0 G2	10,748	B2 U0 G2
08	14,037	B3 U0 G3	14,331	B3 U0 G3
700mA				
02	4,189	B1 U0 G1	4,275	B1 U0 G1
04	8,379	B2 U0 G2	8,549	B2 U0 G2
06	12,425	B3 U0 G3	12,678	B3 U0 G3

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

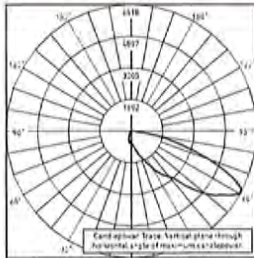
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

Cree Edge® LED Security Wall Pack Luminaire

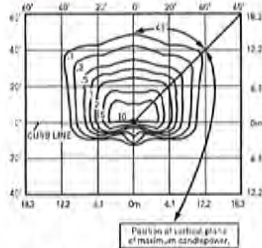
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards. To obtain an IES file specific to your project consult: <http://creelighting.com/products/outdoor/wall-mount/cree-edge-series-5>

4MB



RESTL Test Report #: PL01023-002B
ARE-EDG-4MB-**-06-E-UL-525-40K
Initial Delivered Lumens: 7,985



SEC-EDG-4MB-**-06-E-UL-700-40K
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 9,359
Initial FC at grade

Type IV Medium Distribution w/BLS				
LED Count (x10)	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
350mA				
02	1,884	B0 U0 G1	1,921	B0 U0 G1
04	3,768	B1 U0 G1	3,843	B1 U0 G1
06	5,588	B1 U0 G1	5,698	B1 U0 G2
08	7,450	B1 U0 G2	7,598	B1 U0 G2
10	9,291	B1 U0 G2	9,475	B1 U0 G2
12	11,149	B1 U0 G2	11,370	B1 U0 G2
525mA				
02	2,674	B0 U0 G1	2,730	B0 U0 G1
04	5,348	B1 U0 G1	5,460	B1 U0 G1
06	7,930	B1 U0 G2	8,096	B1 U0 G2
08	10,573	B1 U0 G2	10,794	B1 U0 G2
700mA				
02	3,156	B1 U0 G1	3,220	B1 U0 G1
04	6,311	B1 U0 G2	6,440	B1 U0 G2
06	9,359	B1 U0 G2	9,549	B1 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens.

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>

OSQ Series

OSQ™ LED Area/Flood Luminaire – Medium

Rev. Date: V21 10/23/2019

Product Description

The OSQ™ Area/Flood luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weathertight LED driver compartment. Versatile mounting configurations offer simple installation. Its slim, low-profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination. The 'B' Input power designator is a suitable upgrade for HID applications up to 250 Watt, and the 'K' Input power designator is a suitable upgrade for HID applications up to 400 Watt.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, tunnels, underpasses, and internal roadways

Performance Summary

NanoOptic® Precision Delivery Grid™ optic

Assembled in the U.S.A. of U.S. and imported parts

Initial Delivered Lumens: Up to 17,291

Efficacy: Up to 136 LPW

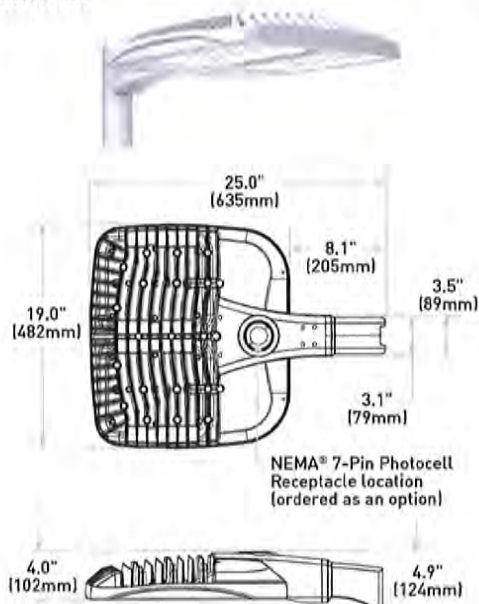
CRI: Minimum 70 CRI (3000K, 4000K & 5700K); 90 CRI (5000K)

CCT: 3000K, 4000K, 5000K, 5700K

Limited Warranty: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish/5 years on Synapse wireless control accessories/1 year on luminaire accessories

* See <http://creelighting.com/warranty> for warranty terms

DA Mount



Weight

28.9 lbs. [13.1kg]

Ordering Information

Fully assembled luminaire is composed of two components that must be ordered separately:

Example: **Mount:** OSQ-B-AA5V + **Luminaire:** OSQ-A-NM-2ME-B-40K-UL-SV

Mount (Luminaire must be ordered separately)*	
OSQ-	
OSQ-B-AA Adjustable Arm	Color Options: SV Silver BK Black BZ Bronze WH White
OSQ-DA Direct Arm	
OSQ-M-TSP Transportation Mount (stainless steel; do not specify color)	
OSQ-TM Trunnion Mount	

* Reference EPA and pole configuration suitability data beginning on page 9

Luminaire (Mount must be ordered separately)									
OSQ	A	NM							
Product	Version	Mounting	Optic	Input Power Designator	CCT	Voltage	Color Options	Options	
OSQ	A	NM No Mount	Asymmetric 2ME* Type II Medium 4ME* Type IV Medium 3ME* Type III Medium Symmetric 5ME Type V Medium 25D 25° Flood 40D 40° Flood 55H Type V Short 60D 60° Flood WSN Wide Sign 15D 15° Flood	B 86W K 130W Z 53W	30K 3000K, 70 CRI 40K 4000K, 70 CRI 50K 5000K, 90 CRI 57K 5700K, 70 CRI	UL 120-277V UH 347-480V - Available with B & K Input Power Designators only	BK Black BZ Bronze SV Silver WH White	PML Programmable Multi-Level, up to 40' Mounting Height - Refer to PML spec sheet for details - Intended for downlight applications at 0° tilt PML2 Programmable Multi-Level, 10-30' Mounting Height - Refer to PML2 spec sheet for details - Intended for downlight applications at 0° tilt Q9/Q6/Q5/Q4/Q3/Q2/Q1 Field Adjustable Output - Must select Q9, Q6, Q5, Q4, Q3, Q2, or Q1 - Offers full range adjustability - Refer to pages 11-12 for power and lumen values - Available with B & K Input Power Designators only - Not available with PML or PML2 options	R NEMA® 7-Pin Photocell Receptacle - 7-pin receptacle per ANSI C136.41 - Intended for downlight applications with maximum 45° tilt - Factory connected 0-10V dim leads - 18" (457mm) seven-conductor cord exits luminaire - Photocell or shorting cap by others RL Rotate Left - LED and optic are rotated to the left - Refer to RR/RL configuration diagram on page 13 for optic directionality RR Rotate Right - LED and optic are rotated to the right - Refer to RR/RL configuration diagram on page 13 for optic directionality

* Available with Backlight Shield when ordered with field-installed accessory (see table above)



CREE LIGHTING

US: creelighting.com (800) 236-6800

Canada: creelighting-canada.com (800) 473-1234

OSQ™ LED Area/Flood Luminaire – Medium

Product Specifications

CONSTRUCTION & MATERIALS

- Slim, low profile design minimizes wind load requirements
- Luminaire housing is rugged die cast aluminum with an integral, weathertight LED driver compartment and high-performance heat sink
- Convenient interlocking mounting method on direct arm mount. Mounting adaptor is rugged die cast aluminum and mounts to 3-6" (76-152mm) square or round pole, secured by two 5/16-18 UNC bolts spaced on 2" (51mm) centers
- Mounting for the adjustable arm mount adaptor is rugged die cast aluminum and mounts to 2" (51mm) IP, 2.375" (60mm) O.D. tenon
- Adjustable arm mount can be adjusted 180° in 2.5° increments
- Transportation mount is constructed of 316 stainless steel and mounts to surface with (4) 3/8" fasteners by others
- Trunnion mount is constructed of A500 and A1011 steel and is adjustable from 0-180° in 15° degree increments. Trunnion mount secures to surface with (1) 3/4" bolt or (2) 1/2" or 3/8" bolts
- Includes 18" (340mm) 18/5 or 16/5 cord exiting the luminaire. When ordered with R option, 18" (340mm) 18/7 or 16/7 cord is provided
- Designed for uplight and downlight applications
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Silver, bronze, black, and white are available
- **Weight:** OSQ-DA: 28.9 lbs. [13.1kg]; OSQ-B-AA: 28.4 lbs. [12.9kg]; OSQ-M-TSP: 42 lbs. [19.1kg]; OSQ-TM: 32.6 lbs. [14.8kg]

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- Consult factory if in-luminaire fusing is required
- Designed with 0-10V dimming capabilities. Controls by others
- Refer to Dimming spec sheet for details
- **Maximum 10V Source Current:** 1.0mA

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Enclosure rated IP66 per IEC 60529 when ordered without R option
- Consult factory for CE Certified products
- Certified to ANSI C136.31-2001, 3G bridge and overpass vibration standards with AA, DA, TM, and TSP mounts
- ANSI C136.2 10kV surge protection, tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- Meets Buy American requirements within ARRA
- DLC and DLC Premium qualified versions available with 70 CRI. Some exceptions apply. Please refer to <https://www.designlights.org/search/> for most current information
- RoHS compliant. Consult factory for additional details
- Dark Sky Friendly, IDA Approved when ordered with 30K CCT and direct or transportation mounts only. Please refer to <https://www.darksky.org/our-work/lighting/lighting-for-industry/isa/isa-products/> for most current information

CA RESIDENTS WARNING: Cancer and Reproductive Harm – www.p65warnings.ca.gov

Product Specifications

SYNAPSE® SIMPLYSNAP INTELLIGENT CONTROL

The Synapse SimplySNAP platform is a highly intuitive connected lighting solution featuring zone dimming, motion sensing, and daylight harvesting with utility-grade power monitoring and support of up to 1000 nodes per gateway. The system features a reliable and robust self-healing mesh network with a browser-based interface that runs on smartphones, tablets, and PCs. The Twist-Lock Lighting Controller (TL7-B2) and Site Controller (SS450-002) take the OSQ Series to a new performance plateau, providing extreme energy productivity, code compliance and a better light experience.

Electrical Data*

Input Power Designator	System Watts 120-480V	Total Current [A]					
		120V	208V	240V	277V	347V	480V
B	86	0.73	0.43	0.37	0.32	0.25	0.19
K	130	1.09	0.65	0.56	0.49	0.38	0.28
Z	53**	0.46	0.26	0.22	0.19	N/A	N/A

* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-277V or 347-480V +/-10%

** Available with UL voltage only

OSQ Series Ambient Adjusted Lumen Maintenance¹

Ambient	Optic	Initial LMF	25K hr Reported ² LMF	50K hr Reported ² LMF	75K hr Reported ² / Estimated ³ LMF	100K hr Reported ² / Estimated ³ LMF
5°C (41°F)	Asymmetric	1.04	1.02	1.01	1.00 ³	0.99 ³
	Symmetric	1.05	1.04	1.03	1.03 ³	1.02 ³
10°C (50°F)	Asymmetric	1.03	1.01	1.00	0.99 ³	0.98 ³
	Symmetric	1.04	1.03	1.02	1.01 ³	1.00 ³
15°C (59°F)	Asymmetric	1.02	1.00	0.99	0.98 ³	0.97 ³
	Symmetric	1.02	1.02	1.01	1.00 ³	0.99 ³
20°C (68°F)	Asymmetric	1.01	0.99	0.98	0.97 ³	0.96 ³
	Symmetric	1.01	1.01	1.00	0.99 ³	0.98 ³
25°C (77°F)	Asymmetric	1.00	0.98	0.97	0.96 ³	0.95 ³
	Symmetric	1.00	0.99	0.98	0.98 ³	0.97 ³

¹ Lumen maintenance values at 25°C (77°F) are calculated per IES TM-21 based on IES LM-80 report data for the LED package and in-situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors. Please refer to the [Temperature Zone Reference Document](#) for outdoor average nighttime ambient conditions.

² In accordance with IES TM-21, Reported values represent interpolated values based on time durations that are up to 6x the tested duration in the IES LM-80 report for the LED.

³ Estimated values are calculated and represent time durations that exceed the 6x test duration of the LED.

Accessories

Field-Installed

Backlight Shield	Hand-Held Remote	Bird Spikes
OSQ-BLSMF – Front facing optics OSQ-BLSMR – Rotated optics	XA-SENSREM – For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required	OSQ-MED-BROSPK

Synapse Wireless Control Accessories

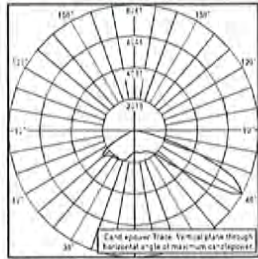
Twist-Lock Lighting Controller	SimplySNAP On-Site Controller
TL7-B2 – Suitable for 120-277V [UL] voltage only – Requires NEMA/ANSI C136.41 7-Pin Dimming Receptacle – Not for use with PML or Q options – Provides On/Off switching, dimming, power metering, digital sensor input, and status monitoring of luminaires	SS450-002 – Verizon® LTE-enabled – Designed for indoor applications Building Management System (BMS) Gateway BMS-GW – Required for BACNET integration Outdoor Antennas (Optional, for increased range, 8dB gain) KIT-ANT420SM – Kit includes antenna, 20' cable and bracket KIT-ANT360 – Kit includes antenna, 30' cable and bracket KIT-ANT600 – Kit includes antenna, 50' cable and bracket

OSQ™ LED Area/Flood Luminaire – Medium

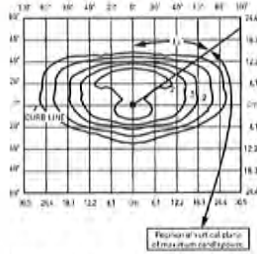
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards. To obtain an IES file specific to your project consult: <https://creelighting.com/products/outdoor/area/osq-series>

2ME



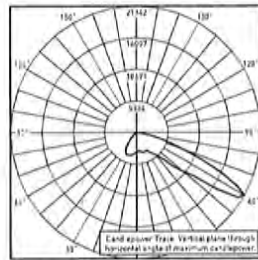
RESTL Test Report #: PL08877-001A
OSQ-A-**-2ME-B-30K-UL
Initial Delivered Lumens: 10,381



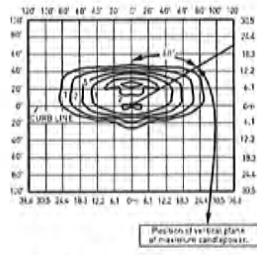
OSQ-A-**-2ME-B-40K-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 11,424
Initial FC at grade

Type II Medium Distribution								
Input Power Designator	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
B	10,738	B2 U0 G2	11,424	B2 U0 G2	9,350	B2 U0 G2	11,648	B2 U0 G2
K	16,022	B3 U0 G3	16,959	B3 U0 G3	14,000	B3 U0 G2	17,291	B3 U0 G3
Z	6,481	B2 U0 G1	6,896	B2 U0 G1	5,750	B1 U0 G1	7,031	B2 U0 G1

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no ILL



CESTL Test Report #: PL07700-001A
OSQ-A-**-2ME-U-57K-UL w/DSO-BLSLF
Initial Delivered Lumens: 22,822



OSQ-A-**-2ME-B-40K-UL w/DSO-BLSMF
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 8,779
Initial FC at grade

Type II Medium w/BLS Distribution								
Input Power Designator	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM 15 11	Initial Delivered Lumens*	BUG Ratings** Per TM 15 11	Initial Delivered Lumens*	BUG Ratings** Per TM 15 11	Initial Delivered Lumens*	BUG Ratings** Per TM 15 11
B	8,251	B2 U0 G2	8,779	B2 U0 G2	7,200	B1 U0 G1	8,950	B2 U0 G2
K	12,312	B2 U0 G2	13,032	B2 U0 G2	10,750	B2 U0 G2	13,286	B2 U0 G2
Z	4,980	B1 U0 G1	5,299	B1 U0 G1	4,420	B1 U0 G1	5,402	B1 U0 G1

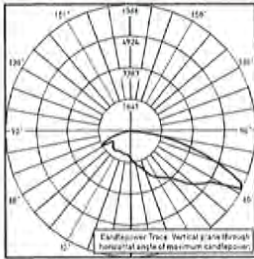
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no ILL

OSQ™ LED Area/Flood Luminaire – Medium

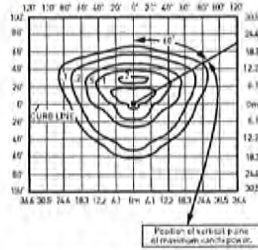
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards. To obtain an IES file specific to your project consult: <https://creelighting.com/products/outdoor/area/osq-series>

3ME



RESTL Test Report #: PL08876-001A
OSQ-A**-3ME-B-40K-UL
Initial Delivered Lumens: 10,421

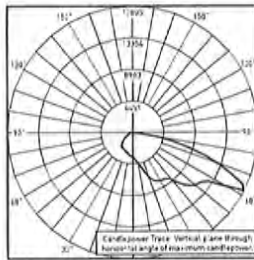


OSQ-A**-3ME-B-40K-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 11,424
Initial FC at grade

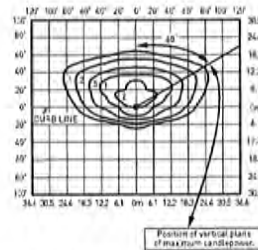
Type III Medium Distribution

Input Power Designator	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
B	10,738	B3 U0 G3	11,424	B3 U0 G3	9,350	B2 U0 G2	11,648	B3 U0 G3
K	16,022	B3 U0 G3	14,959	B3 U0 G3	14,000	B3 U0 G3	17,291	B3 U0 G3
Z	6,481	B2 U0 G2	6,896	B2 U0 G2	5,750	B2 U0 G2	7,031	B2 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no ILLI



CESTL Test Report #: PL07699-001A
OSQ-A**-3ME-U-57K-UL w/OSQ-BLSLF
Initial Delivered Lumens: 23,601



OSQ-A**-3ME-B-40K-UL w/OSQ-BLSMF
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 9,019
Initial FC at grade

Type III Medium w/BLS Distribution

Input Power Designator	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
B	8,477	B1 U0 G2	9,019	B1 U0 G2	7,400	B1 U0 G2	9,196	B1 U0 G2
K	12,649	B2 U0 G2	13,389	B2 U0 G2	11,050	B2 U0 G2	13,650	B2 U0 G2
Z	5,117	B1 U0 G1	5,444	B1 U0 G1	4,540	B1 U0 G1	5,551	B1 U0 G1

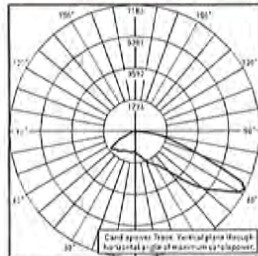
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no ILLI

OSQ™ LED Area/Flood Luminaire – Medium

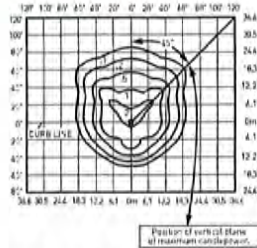
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards. To obtain an IES file specific to your project consult: <https://creelighting.com/products/outdoor/area/osq-series>

4ME



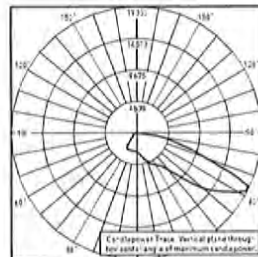
RESTL Test Report #: PL08878-001A
OSQ-A-4ME-B-30K-UL
Initial Delivered Lumens: 10,230



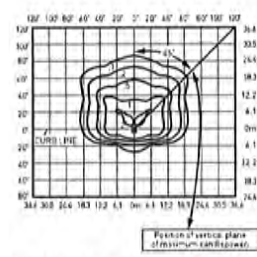
OSQ-A-4ME-B-40K-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 11,424
Initial FC at grade

Type IV Medium Distribution								
Input Power Designator	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
B	10,738	B2 U0 G2	11,424	B2 U0 G2	9,350	B2 U0 G2	11,648	B2 U0 G2
K	16,022	B3 U0 G3	16,959	B3 U0 G3	14,000	B3 U0 G3	17,291	B3 U0 G3
Z	6,481	B2 U0 G2	6,896	B2 U0 G2	5,750	B2 U0 G1	7,031	B2 U0 G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt



CESTL Test Report #: PL07692-001A
OSQ-A-4ME-U-57K-UL w/OSO-BLS5L
Initial Delivered Lumens: 22,793



OSQ-A-4ME-B-40K-UL w/OSO-BLSM5
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 8,779
Initial FC at grade

Type IV Medium w/BLS Distribution								
Input Power Designator	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
B	8,251	B1 U0 G2	8,779	B1 U0 G2	7,200	B1 U0 G2	8,950	B1 U0 G2
K	12,312	B2 U0 G2	13,032	B2 U0 G2	10,750	B2 U0 G2	13,286	B2 U0 G2
Z	4,980	B1 U0 G1	5,299	B1 U0 G1	4,420	B1 U0 G1	5,402	B1 U0 G1

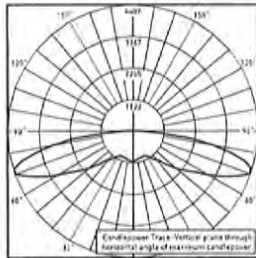
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

OSQ™ LED Area/Flood Luminaire – Medium

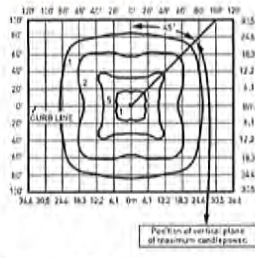
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards. To obtain an IES file specific to your project consult: <https://creelighting.com/products/outdoor/area/osq-series>

5ME



RESTL Test Report #: PL08534-001B
OSQ-A-5ME-B-40K-UL
Initial Delivered Lumens: 10,519



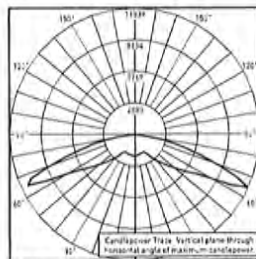
OSQ-A-5ME-B-40K-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 10,867
Initial FC at grade

Type V Medium Distribution

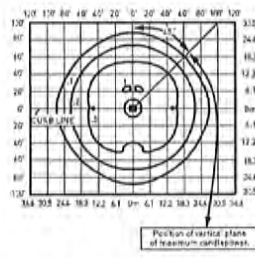
Input Power Designator	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
B	10,232	B4 U0 G3	10,867	B4 U0 G3	10,000	B4 U0 G3	11,056	B4 U0 G3
K	15,063	B4 U0 G4	15,999	B4 U0 G4	14,925	B4 U0 G4	16,277	B4 U0 G4
Z	5,257	B3 U0 G3	6,086	B3 U0 G3	6,175	B3 U0 G3	6,192	B3 U0 G3

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

5SH



CESTL Test Report #: PL10754-001A
OSQ-A-5SH-B-40K-UL
Initial Delivered Lumens: 25,679



OSQ-A-5SH-B-40K-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 11,478
Initial FC at grade

Type V Short Distribution

Input Power Designator	3000K (70 CRI)		4000K (70 CRI)		5000K (90 CRI)		5700K (70 CRI)	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
B	10,806	B4 U0 G2	11,478	B4 U0 G2	10,575	B4 U0 G2	11,678	B4 U0 G2
K	15,909	B4 U0 G3	16,897	B4 U0 G3	15,800	B4 U0 G3	17,191	B4 U0 G3
Z	5,552	B3 U0 G1	6,428	B3 U0 G2	6,525	B3 U0 G2	6,539	B3 U0 G2

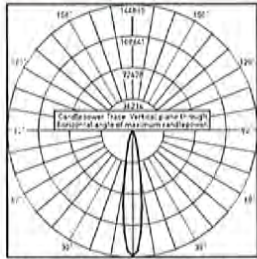
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

OSQ™ LED Area/Flood Luminaire – Medium

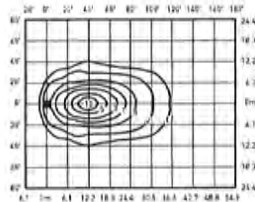
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards. To obtain an IES file specific to your project consult: <https://creelighting.com/products/outdoor/area/osq-series>

15D



CESTL Test Report #: PL07689-001A
OSQ-A**-15D-U-30K-UL
Initial Delivered Lumens: 23,254



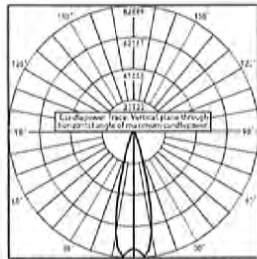
OSQ-A**-15D-B-40K-UL
Mounting Height: 25' (7.6m) A.F.G., 60° Tilt
Initial Delivered Lumens: 11,478
Initial FC at grade

15° Flood Distribution

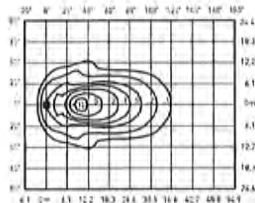
Input Power Designator	3000K (70 CRI)	4000K (70 CRI)	5000K (90CRI)	5700K (70 CRI)
	Initial Delivered Lumens*			
B	10,806	11,478	10,575	11,678
K	15,909	16,897	15,800	17,191
Z	5,552	6,428	6,525	6,539

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

25D



CESTL Test Report #: PL07696-001A
OSQ-A**-25D-U-30K-UL
Initial Delivered Lumens: 23,265



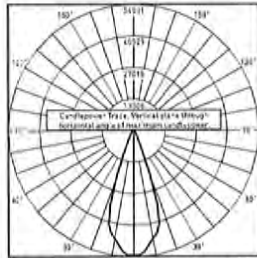
OSQ-A**-25D-B-40K-UL
Mounting Height: 25' (7.6m) A.F.G., 60° Tilt
Initial Delivered Lumens: 11,478
Initial FC at grade

25° Flood Distribution

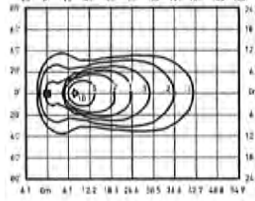
Input Power Designator	3000K (70 CRI)	4000K (70 CRI)	5000K (90CRI)	5700K (70 CRI)
	Initial Delivered Lumens*			
B	10,806	11,478	10,575	11,678
K	15,909	16,897	15,800	17,191
Z	5,552	6,428	6,525	6,539

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

40D



CESTL Test Report #: PL07697-001A
OSQ-A**-40D-U-30K-UL
Initial Delivered Lumens: 22,943



OSQ-A**-40D-B-40K-UL
Mounting Height: 25' (7.6m) A.F.G., 60° Tilt
Initial Delivered Lumens: 11,478
Initial FC at grade

40° Flood Distribution

Input Power Designator	3000K (70 CRI)	4000K (70 CRI)	5000K (90 CRI)	5700K (70 CRI)
	Initial Delivered Lumens*			
B	10,806	11,478	10,575	11,678
K	15,909	16,897	15,800	17,191
Z	5,552	6,428	6,525	6,539

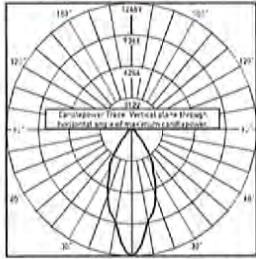
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

OSQ™ LED Area/Flood Luminaire – Medium

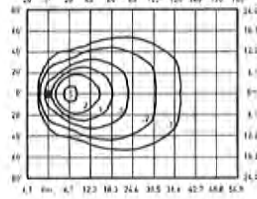
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards. To obtain an IES file specific to your project consult: <https://creelighting.com/products/outdoor/area/osq-series>

60D



CESTL Test Report #: PL08100-001B
OSQ-A-**-60D-B-30K-UL
Initial Delivered Lumens: 10,079



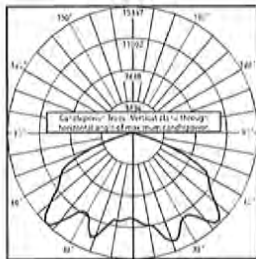
OSQ-A-**-60D-B-40K-UL
Mounting Height: 25' [7.6m] A.F.G., 60° Tilt
Initial Delivered Lumens: 11,478
Initial FC at grade

60° Flood Distribution				
Input Power Designator	3000K (70 CRI)	4000K (70 CRI)	5000K (90 CRI)	5700K (70 CRI)
		Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
B	10,806	11,478	10,575	11,678
K	15,909	16,897	15,800	17,191
Z	5,552	6,428	6,525	6,539

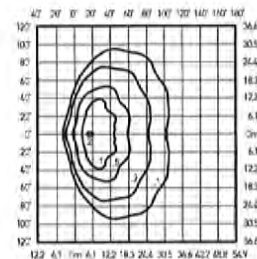
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

WSN



CESTL Test Report #: PL07695-001A
OSQ-A-**-WSN-U-30K-UL
Initial Delivered Lumens: 23,116



OSQ-A-**-WSN-B-40K-UL
Mounting Height: 25' [7.6m] A.F.G., 60° Tilt
Initial Delivered Lumens: 11,478
Initial FC at grade

Wide Sign Distribution				
Input Power Designator	3000K (70 CRI)	4000K (70 CRI)	5000K (90 CRI)	5700K (70 CRI)
		Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
B	10,806	11,478	10,575	11,678
K	15,909	16,897	15,800	17,191
Z	5,552	6,428	6,525	6,539

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

OSQ™ LED Area/Flood Luminaire – Medium

Luminaire EPA

Adjustable Arm Mount – OSQ-B-AA Weight: 28.4 lbs. [12.9kg]							
Single	2 @ 180°	2 @ 90°	3 @ 90°	3 @ 120°	3 @ 180°	4 @ 180°	4 @ 90°
Tenon Configuration (0°–80° Tilt); If used with Cree Lighting tenons, please add tenon EPA with Luminaire EPA							
PB-1A*; PT-1; PW-1A3**	PB-2A*; PB-2R2.375; PD-2A4(180); PT-2(180); PW-2A3**	PB-2A*; PD-2A4(90); PT-2(90)	PB-3A*; PD-3A4(90); PT-3(90)	PB-3A*; PT-3(120)	PB-3A*; PB-3R2.375	PB-4A*(180)	PB-4A*(90); PB-4R2.375; PD-4A4(90); PT-4(90)
0° Tilt							
0.74	1.48	1.19	1.93	1.63	3.33	4.66	2.38
10° Tilt							
0.75	1.48	1.49	2.23	2.15	4.22	5.84	2.98
20° Tilt							
1.12	1.48	1.86	2.60	2.85	5.31	7.32	3.72
30° Tilt							
1.46	1.48	2.20	2.94	3.56	6.34	8.68	4.40
45° Tilt							
1.96	1.96	2.69	3.43	4.54	7.83	10.68	5.38
60° Tilt							
2.33	2.33	3.07	3.81	5.11	8.94	12.16	6.14
70° Tilt							
2.49	2.49	3.23	3.97	5.11	9.43	12.80	6.46
80° Tilt							
2.58	2.58	3.32	4.06	5.11	9.71	13.16	6.64
Tenon Configuration (90° Tilt); If used with Cree Lighting tenons, please add tenon EPA with Luminaire EPA							
PB-1A*; PT-1; PW-1A3**	PB-2A*; PB-2R2.375; PD-2A4(180); PT-2(180); PW-2A3**	PB-2A*	PB-3A*	PB-3A*; PT-3(120)	PB-3A*; PB-3R2.375	PB-4A*(180)	PB-4A*(90); PB-4R2.375
90° Tilt							
2.61	2.61	4.44	6.05	5.11	9.79	13.28	10.39

* Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"] for single, double or triple luminaire orientation or 4 [4"], 5 [5"], or 6 [6"] for quad luminaire orientation
 ** These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"]

Tenon EPA

Part Number	EPA
PB-1A*	None
PB-2A*	0.82
PB-3A*	1.52
PB-4A*(180)	2.22
PB-4A*(90)	1.11
PB-2R2.375	0.92
PB-3R2.375	1.62
PB-4R2.375	2.32
PD Series Tenons	0.09
PT Series Tenons	0.10
PW-1A3**	0.47
PW-2A3**	0.94
WM-2	0.08
WM-4	0.25
WM-DM	None

* Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"] for single, double or triple luminaire orientation or 4 [4"], 5 [5"], or 6 [6"] for quad luminaire orientation
 ** These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 [3"], 4 [4"], 5 [5"], or 6 [6"]

Tenons and Brackets* (must specify color)	
Square Internal Mount Vertical Tenons (Steel) - Mounts to 3-6" [76-152mm] square aluminum or steel poles PB-1A* – Single PB-4A*(90) – 90° Quad PB-2A* – 180° Twin PB-4A*(180) – 180° Quad PB-3A* – 180° Triple	Round External Mount Vertical Tenons (Steel) - Mounts to 2.375" [60mm] O.D. round aluminum or steel poles or tenons PB-2R2.375 – Twin PB-4R2.375 – Quad PB-3R2.375 – Triple
Square Internal Mount Horizontal Tenons (Aluminum) - Mounts to 4" [102mm] square aluminum or steel poles PD-2A4(90) – 90° Twin PD-3A4(90) – 90° Triple PD-2A4(180) – 180° Twin PD-4A4(90) – 90° Quad	Round External Mount Horizontal Tenons (Aluminum) - Mounts to 2.375" [60mm] O.D. round aluminum or steel poles or tenons - Mounts to square pole with PB-1A* tenon PT-1 – Single (Vertical) PT-3(90) – 90° Triple PT-2(90) – 90° Twin PT-3(120) – 120° Triple PT-2(180) – 180° Twin PT-4(90) – 90° Quad
Wall Mount Brackets - Mounts to wall or roof WM-2 – Horizontal for OSQ-B-AA mount WM-4 – L-Shape for OSQ-B-AA mount WM-DM – Plate for OSQ-DA mount	Mid-Pole Bracket - Mounts to square pole PW-1A3** – Single PW-2A3** – Double
	Ground Mount Post - For ground-mounted flood luminaires PGM-1 – for OSQ-B-AA mount

* Refer to the [Bracket and Tenons spec sheet](#) for more details

OSQ™ LED Area/Flood Luminaire – Medium

Luminaire EPA

Direct Arm Mount – OSQ-DA Weight: 28.9 lbs. (13.1kg)					
Single	2 @ 180°	2 @ 90°	3 @ 90°	3 @ 120°	4 @ 90°
0.74	1.48	1.19	1.93	1.63	2.38

Direct Mount Configurations

Compatibility with OSQ-DA Direct Mount Bracket					
Input Power Designator	2 @ 90°	2 @ 180°	3 @ 90°	3 @ 120°	4 @ 90°
3" Square					
B, K & Z	N/A	✓	N/A	N/A	N/A
3" Round					
B, K & Z	N/A	✓	N/A	N/A	N/A
4" Square					
B, K & Z	✓	✓	✓	N/A	✓
4" Round					
B, K & Z	✓	✓	✓	✓	✓
5" Square					
B, K & Z	✓	✓	✓	N/A	✓
5" Round					
B, K & Z	✓	✓	✓	✓	✓
6" Square					
B, K & Z	✓	✓	✓	N/A	✓
6" Round					
B, K & Z	✓	✓	✓	✓	✓

Luminaire EPA

Trunnion Mount – OSQ-TM Weight: 32.6 lbs. (14.8kg)	
Single	
0° Tilt	
0.75	
15° Tilt	
0.99	
30° Tilt	
1.57	
45° Tilt	
2.07	
60° Tilt	
2.46	
75° Tilt	
2.67	
90° Tilt	
2.33	

OSQ™ LED Area/Flood Luminaire – Medium

Field Adjustable Output (Q9/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings.

Q Option Power & Lumen Data – Designator B

Q Option Setting	CCT/CRI	System Watts 120-480V	Lumen Values						Optics Qualified on DLC QPL	
			Asymmetric	5ME	5SH & Floods	2ME w/ BLS	3ME w/ BLS	4ME w/BLS	Standard	Premium
Q9 (Full Power)	30K (70 CRI)	86	10,738	10,232	10,806	8,251	8,477	8,251	5ME	2ME, 3ME, 4ME, 5SH, 15D, 25D, 40D, 60D, WSN
	40K (70 CRI)		11,424	10,867	11,478	8,779	9,019	8,779	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
	50K (90 CRI)		9,350	10,000	10,575	7,200	7,400	7,200	TBD	TBD
	57K (70 CRI)		11,648	11,056	11,678	8,950	9,196	8,950	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
Q6	30K (70 CRI)	77	9,449	9,004	9,509	7,261	7,460	7,261	5ME	2ME, 3ME, 4ME, 5SH, 15D, 25D, 40D, 60D, WSN
	40K (70 CRI)		10,053	9,563	10,101	7,726	7,937	7,726	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
	50K (90 CRI)		8,350	8,950	9,450	6,425	6,600	6,425	TBD	TBD
	57K (70 CRI)		10,250	9,729	10,277	7,876	8,092	7,876	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
Q5	30K (70 CRI)	72	8,913	8,492	8,969	6,848	7,036	6,848	5ME	2ME, 3ME, 4ME, 5SH, 15D, 25D, 40D, 60D, WSN
	40K (70 CRI)		9,482	9,020	9,527	7,287	7,486	7,287	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
	50K (90 CRI)		7,525	8,050	8,525	5,775	5,950	5,775	TBD	TBD
	57K (70 CRI)		9,668	9,176	9,693	7,429	7,633	7,429	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
Q4	30K (70 CRI)	62	7,731	7,367	7,780	5,941	6,103	5,941	5ME	2ME, 3ME, 4ME, 5SH, 15D, 25D, 40D, 60D, WSN
	40K (70 CRI)		8,225	7,824	8,264	6,321	6,494	6,321	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
	50K (90 CRI)		6,575	7,025	7,425	5,050	5,175	5,050	TBD	TBD
	57K (70 CRI)		8,387	7,960	8,408	6,444	6,621	6,444	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
Q3	30K (70 CRI)	53	6,550	6,241	6,592	5,033	5,171	5,033	5ME	2ME, 3ME, 4ME, 5SH, 15D, 25D, 40D, 60D, WSN
	40K (70 CRI)		6,969	6,629	7,002	5,355	5,502	5,355	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
	50K (90 CRI)		5,575	5,975	6,325	4,290	4,410	4,290	TBD	TBD
	57K (70 CRI)		7,105	6,744	7,124	5,460	5,610	5,460	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
Q2	30K (70 CRI)	45	5,476	5,218	5,511	4,208	4,323	4,208	5ME	2ME, 3ME, 4ME, 5SH, 15D, 25D, 40D, 60D, WSN
	40K (70 CRI)		5,826	5,542	5,854	4,477	4,600	4,477	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
	50K (90 CRI)		4,550	4,890	5,175	3,500	3,590	3,500	TBD	TBD
	57K (70 CRI)		5,940	5,639	5,956	4,565	4,690	4,565	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
Q1	30K (70 CRI)	34	4,188	3,990	4,214	3,218	3,306	3,218	5ME	2ME, 3ME, 4ME, 5SH, 15D, 25D, 40D, 60D, WSN
	40K (70 CRI)		4,455	4,238	4,476	3,424	3,517	3,424	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
	50K (90 CRI)		3,500	3,770	3,980	2,690	2,760	2,690	TBD	TBD
	57K (70 CRI)		4,543	4,312	4,554	3,491	3,586	3,491	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN

OSQ™ LED Area/Flood Luminaire – Medium

Field Adjustable Output (Q9/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings.

Q Option Power & Lumen Data – Designator K

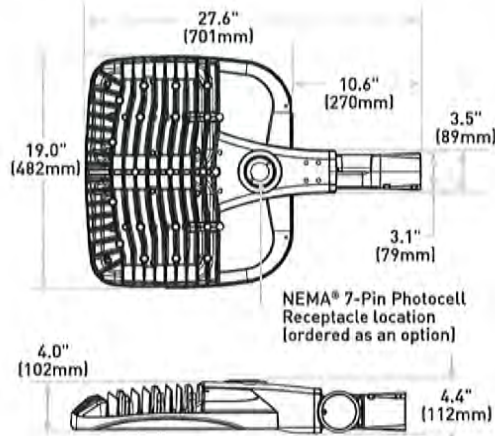
Q Option Setting	CCT/CRI	System Watts	Lumen Values						Optics Qualified on DLC QPL	
			120-480V	Asymmetric	5ME	5SH & Floods	2ME w/BLS	3ME w/BLS	4ME w/BLS	Standard
Q9 [Full Power]	30K (70 CRI)	130	16,022	15,063	15,909	12,312	12,649	12,312	5ME	2ME, 3ME, 4ME, 5SH, 15D, 25D, 40D, 60D, WSN
	40K (70 CRI)		16,959	15,999	16,897	13,032	13,389	13,032	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
	50K (90 CRI)		14,000	14,925	15,800	10,750	11,050	10,750	TBD	TBD
	57K (70 CRI)		17,291	16,277	17,191	13,286	13,650	13,286	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
Q6	30K (70 CRI)	117	14,099	13,255	14,000	10,835	11,131	10,835	5ME	2ME, 3ME, 4ME, 5SH, 15D, 25D, 40D, 60D, WSN
	40K (70 CRI)		14,924	14,079	14,869	11,468	11,782	11,468	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
	50K (90 CRI)		12,500	13,350	14,100	9,600	9,875	9,600	TBD	TBD
	57K (70 CRI)		15,216	14,324	15,128	11,692	12,012	11,692	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
Q5	30K (70 CRI)	110	13,298	12,502	13,204	10,219	10,499	10,219	5ME	2ME, 3ME, 4ME, 5SH, 15D, 25D, 40D, 60D, WSN
	40K (70 CRI)		14,076	13,279	14,025	10,817	11,113	10,817	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
	50K (90 CRI)		11,250	12,050	12,725	8,650	8,900	8,650	TBD	TBD
	57K (70 CRI)		14,352	13,510	14,269	11,027	11,330	11,027	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
Q4	30K (70 CRI)	93	11,536	10,845	11,454	8,865	9,107	8,865	5ME	2ME, 3ME, 4ME, 5SH, 15D, 25D, 40D, 60D, WSN
	40K (70 CRI)		12,210	11,519	12,166	9,383	9,640	9,383	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
	50K (90 CRI)		9,825	10,525	11,100	7,550	7,750	7,550	TBD	TBD
	57K (70 CRI)		12,450	11,719	12,378	9,566	9,828	9,566	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
Q3	30K (70 CRI)	80	9,773	9,188	9,704	7,510	7,716	7,510	5ME	2ME, 3ME, 4ME, 5SH, 15D, 25D, 40D, 60D, WSN
	40K (70 CRI)		10,345	9,759	10,307	7,950	8,167	7,950	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
	50K (90 CRI)		8,350	8,950	9,475	6,425	6,600	6,425	TBD	TBD
	57K (70 CRI)		10,548	9,929	10,487	8,104	8,327	8,104	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
Q2	30K (70 CRI)	67	8,171	7,682	8,114	6,279	6,451	6,279	5ME	2ME, 3ME, 4ME, 5SH, 15D, 25D, 40D, 60D, WSN
	40K (70 CRI)		8,649	8,159	8,617	6,646	6,828	6,646	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
	50K (90 CRI)		6,825	7,325	7,725	5,250	5,375	5,250	TBD	TBD
	57K (70 CRI)		8,818	8,301	8,767	6,776	6,962	6,776	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
Q1	30K (70 CRI)	51	6,269	5,875	6,205	4,802	4,933	4,802	5ME	2ME, 3ME, 4ME, 5SH, 15D, 25D, 40D, 60D, WSN
	40K (70 CRI)		6,614	6,240	6,590	5,082	5,222	5,082	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN
	50K (90 CRI)		5,250	5,650	5,975	4,030	4,150	4,030	TBD	TBD
	57K (70 CRI)		6,743	6,348	6,704	5,182	5,324	5,182	N/A	2ME, 3ME, 4ME, 5ME, 5SH, 15D, 25D, 40D, 60D, WSN

OSQ™ LED Area/Flood Luminaire – Medium

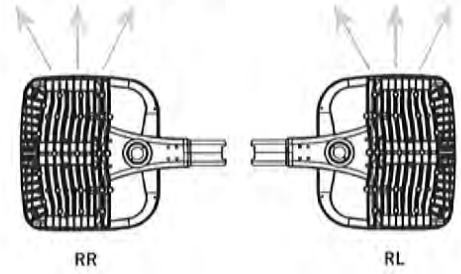
AA Mount



Weight
28.4 lbs. (12.9kg)



RR/RL Configuration

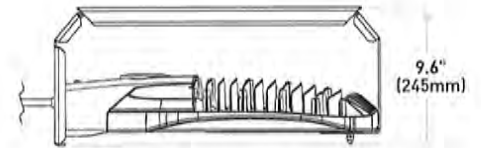
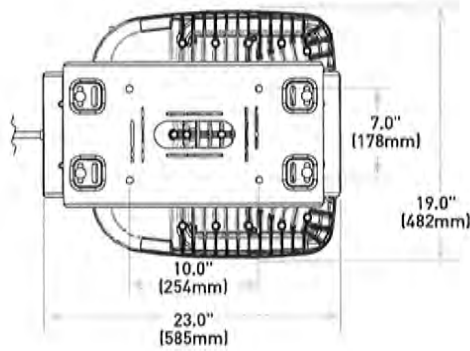


TSP Mount



Weight
42.0 lbs. (19.1kg)

OSQ Large luminaire shown.

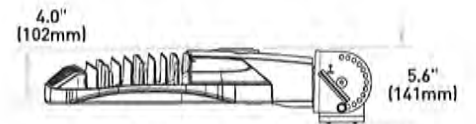
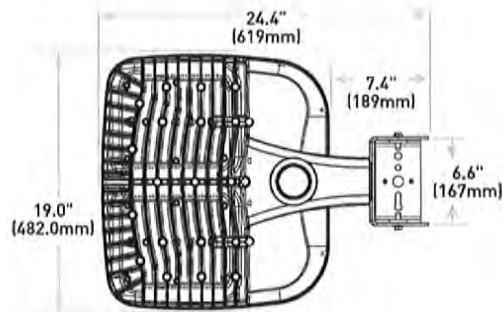


TM Mount



Weight
32.6 lbs. (14.8kg)

OSQ Large luminaire shown.



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CREE  **LIGHTING**

A COMPANY OF IDEAL INDUSTRIES, INC.

ANGLE REFLECTOR

Aluminum Shade
with Glass and Guard Options

Catalog #:

Project:

Type:

Date:

Notes:

Electrical

- 120V input (277V available in arm and post option only)
- Integrated power supply allows the fixture to be connected directly into line voltage
- Pre-wired and ready for install
- LED is dimmable with Incandescent/Triac dimmers

Mounting

- 1/2" or 3/4" IP for arms. Flush mount and post available only in 1/2"

Finishes

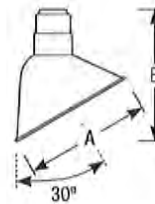
- Shade and mounting finish options
- Available in 21 standard and 2 specialty finishes with optional coastal coating to protect finish in coastal environments (add "-C" to the finish)
- Inner shade is painted gloss white
- Consult factory for custom finish options

Optional Accessories

- Glass, Cast Guard, Wire Cage or Wire Guard options available

Listing

UL listed to US and Canadian standards for wet locations



	A	B
RA8	8"	9"
RA10	10"	11"
RA12	12"	12-1/2"

Angle Reflector Order Matrix (Example: RA10MGA-2)

Diameter	Lamp / LED	Finish	Coastal Coating Option	Accessories	Mounting Type
<input type="checkbox"/> RAB (8")	<input type="checkbox"/> M (Medium Base, 100W max.)	<input type="checkbox"/> ABL (Aegean Blue)	<input type="checkbox"/> (blank) (No coating)	<input type="checkbox"/> (blank) (No Accessories)	<input type="checkbox"/> -2 (1/2" IP)
<input type="checkbox"/> RA10 (10")	<input type="checkbox"/> GU2413 ¹ (13W GU24 / 2700K)	<input type="checkbox"/> BB (Burnished Bronze)	<input type="checkbox"/> -C ⁴ (Coating)	<input type="checkbox"/> -CG (Clear Glass)	<input type="checkbox"/> -3 (3/4" IP)
<input type="checkbox"/> RA12 (12")	<input type="checkbox"/> GU2418 ¹ (18W GU24 / 2700K)	<input type="checkbox"/> BK (Gloss Black)		<input type="checkbox"/> -FG (Frosted Glass)	<input type="checkbox"/> -F (Flush Mount)
	<input type="checkbox"/> GU2426 ¹ (26W GU24 / 2700K)	<input type="checkbox"/> BLU (Blue)		<input type="checkbox"/> -OG (Opal Glass)	
	<input type="checkbox"/> GU2432 ^{1,2} (32W GU24 / 2700K)	<input type="checkbox"/> DVG (Dove Gray)		<input type="checkbox"/> -CGG (Clear Glass w/ Cast Guard)	
	<input type="checkbox"/> GU2442 ^{1,2} (42W GU24 / 2700K)	<input type="checkbox"/> FLG (Flannel Gray)		<input type="checkbox"/> -FGG (Frosted Glass w/ Cast Guard)	
	<input type="checkbox"/> LED1127 ^{1,3} (11W LED / 2700K / 90 CRI / 1189lm)	<input type="checkbox"/> GA (Galvanized)		<input type="checkbox"/> -OGG (Opal Glass w/ Cast Guard)	
	<input type="checkbox"/> LED1130 ^{1,3} (11W LED / 3000K / 90 CRI / 1265lm)	<input type="checkbox"/> LG (Lime Green)		<input type="checkbox"/> -CGWC (Clear Glass w/ Wire Cage)	
	<input type="checkbox"/> LED1135 ^{1,3} (11W LED / 3500K / 90 CRI / 1305lm)	<input type="checkbox"/> MB (Matte Black)		<input type="checkbox"/> -FGWC (Frosted Glass w/ Wire Cage)	
	<input type="checkbox"/> LED1140 ^{1,3} (11W LED / 4000K / 90 CRI / 1364lm)	<input type="checkbox"/> MBL (Midnight Blue)		<input type="checkbox"/> -OGWC (Opal Glass w/ Wire Cage)	
	<input type="checkbox"/> LED1527 ^{1,3} (15W LED / 2700K / 90 CRI / 1620lm)	<input type="checkbox"/> PNA (Painted Natural Aluminum)		<input type="checkbox"/> -WGC (Wire Guard)	
	<input type="checkbox"/> LED1530 ^{1,3} (15W LED / 3000K / 90 CRI / 1725lm)	<input type="checkbox"/> PNC (Painted Natural Copper)			
	<input type="checkbox"/> LED1535 ^{1,3} (15W LED / 3500K / 90 CRI / 1780lm)	<input type="checkbox"/> RD (Red)			
	<input type="checkbox"/> LED1540 ^{1,3} (15W LED / 4000K / 90 CRI / 1860lm)	<input type="checkbox"/> SA (Satin Aluminum)			
		<input type="checkbox"/> SGR (Sage Green)			
		<input type="checkbox"/> SGW (Semi Gloss White)			
		<input type="checkbox"/> SND (Sand)			
		<input type="checkbox"/> SS (Satin Silver)			
		<input type="checkbox"/> TBZ (Textured Bronze)			
		<input type="checkbox"/> TGP (Textured Graphite)			
		<input type="checkbox"/> TNG (Tangerine)			
		<input type="checkbox"/> TTL (Tahitian Teal)			
		<input type="checkbox"/> WT (Gloss White)			

- Lamp/LED included
- Not for use in glass/cast guard/wire cage
- Glass enclosure must be specified

4. Satin aluminum cannot be coated

KEY: Standard Finishes

<input type="checkbox"/> ABL (Aegean Blue)	<input type="checkbox"/> LG (Lime Green)	<input type="checkbox"/> SGR (Sage Green)
<input type="checkbox"/> BB (Burnished Bronze)	<input type="checkbox"/> MB (Matte Black)	<input type="checkbox"/> SGW (Semi Gloss White)
<input type="checkbox"/> BK (Gloss Black)	<input type="checkbox"/> MBL (Midnight Blue)	<input type="checkbox"/> SND (Sand)
<input type="checkbox"/> BLU (Blue)	<input type="checkbox"/> PNA (Painted Natural Aluminum)	<input type="checkbox"/> SS (Satin Silver)
<input type="checkbox"/> DVG (Dove Gray)	<input type="checkbox"/> PNC (Painted Natural Copper)	<input type="checkbox"/> TBZ (Textured Bronze)
<input type="checkbox"/> FLG (Flannel Gray)	<input type="checkbox"/> RD (Red)	<input type="checkbox"/> TGP (Textured Graphite)

Specialty Finishes

<input type="checkbox"/> TNG (Tangerine)	<input type="checkbox"/> GA (Galvanized)
<input type="checkbox"/> TTL (Tahitian Teal)	<input type="checkbox"/> SA (Satin Aluminum)
<input type="checkbox"/> WT (Gloss White)	

Revised 06/01/2018



ANGLE REFLECTOR

Aluminum Shade
with Glass and Guard Options

Catalog #:

Project:

Date:

Type:

Notes:



Glass Enclosure

- Glass is available in clear (-CG), frosted (-FG) or opal (-OG)



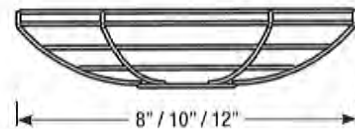
Cast Guard with Glass Enclosure

- Cast guard can be specified in all standard and specialized finishes, and will match shade finish unless otherwise specified (Note: For galvanized shade finishes, cast guard is unfinished Raw Aluminum)
- Glass is available in clear (-CGG), frosted (-FGG) or opal (-OGG)



Wire Cage with Glass Enclosure

- Wire cage can be specified in all standard and specialized finishes, and will match shade finish unless otherwise specified (Note: For galvanized shade finishes, wire cage is finished in Painted Natural Aluminum)
- Glass is available in clear (-CGWC), frosted (-FGWC) or opal (-OGWC)



Wire Guard (-WG)

- Wire cage can be specified in all standard and specialized finishes, and will match shade finish unless otherwise specified (Note: For galvanized shade finishes, wire guard is finished in Painted Natural Aluminum)

Revised 06/01/2014



ANGLE REFLECTOR

Aluminum Shade
with Glass and Guard Options

Catalog #:

Project:

Date:

Type:

Notes:

Arm Mount Order Matrix (Example: 2SL30RD)

Pipe	Arm Type	Finish	Coastal Coating Option	Input Voltage
<input type="checkbox"/> 2 (1/2" IP)	<input type="checkbox"/> SL23 (Small Loop - 23")	<input type="checkbox"/> ABL (Aegean Blue)	<input type="checkbox"/> (blank) (No coating)	<input type="checkbox"/> (blank) (120V)
<input type="checkbox"/> 3 (3/4" IP)	<input type="checkbox"/> SL30 (Small Loop - 30")	<input type="checkbox"/> BB (Burnished Bronze)	<input type="checkbox"/> -C* (Coating)	<input type="checkbox"/> -27 (277V)
	<input type="checkbox"/> LL23 (Large Loop - 23")	<input type="checkbox"/> BK (Gloss Black)		
	<input type="checkbox"/> LL30 (Large Loop - 30")	<input type="checkbox"/> BLU (Blue)		
	<input type="checkbox"/> LC18 (Curve Arm - 18")	<input type="checkbox"/> DVG (Dove Gray)		
	<input type="checkbox"/> LC24 (Curve Arm - 24")	<input type="checkbox"/> FLG (Flannel Gray)		
	<input type="checkbox"/> LC30 (Curve Arm - 30")	<input type="checkbox"/> GA (Galvanized)		
	<input type="checkbox"/> LM18 (Miter Arm - 18")	<input type="checkbox"/> LG (Lime Green)		
	<input type="checkbox"/> LM24 (Miter Arm - 24")	<input type="checkbox"/> MB (Matte Black)		
	<input type="checkbox"/> LM30 (Miter Arm - 30")	<input type="checkbox"/> MBL (Midnight Blue)		
	<input type="checkbox"/> SA18 (Sign Arm - 18")	<input type="checkbox"/> PNA (Painted Natural Aluminum)		
	<input type="checkbox"/> SA23 (Sign Arm - 23")	<input type="checkbox"/> PNC (Painted Natural Copper)		
	<input type="checkbox"/> LSA23 (Large Loop Sign Arm - 23")	<input type="checkbox"/> RD (Red)		
	<input type="checkbox"/> LSA30 (Large Loop Sign Arm - 30")	<input type="checkbox"/> SA (Satin Aluminum)		
	<input type="checkbox"/> A6 (Straight Arm - 6")	<input type="checkbox"/> SGR (Sage Green)		
	<input type="checkbox"/> A12 (Straight Arm - 12")	<input type="checkbox"/> SGW (Semi Gloss White)		
	<input type="checkbox"/> A18 (Straight Arm - 18")	<input type="checkbox"/> SND (Sand)		
	<input type="checkbox"/> A24 (Straight Arm - 24")	<input type="checkbox"/> SS (Satin Silver)		
	<input type="checkbox"/> A30 (Straight Arm - 30")	<input type="checkbox"/> TBZ (Textured Bronze)		
	<input type="checkbox"/> MA18 (Modern Arm - 18")	<input type="checkbox"/> TGP (Textured Graphite)		
	<input type="checkbox"/> MA24 (Modern Arm - 24")	<input type="checkbox"/> TNG (Tangerine)		
	<input type="checkbox"/> MA30 (Modern Arm - 30")	<input type="checkbox"/> TTL (Tahitian Teal)		
		<input type="checkbox"/> WT (Gloss White)		

Standard Finishes

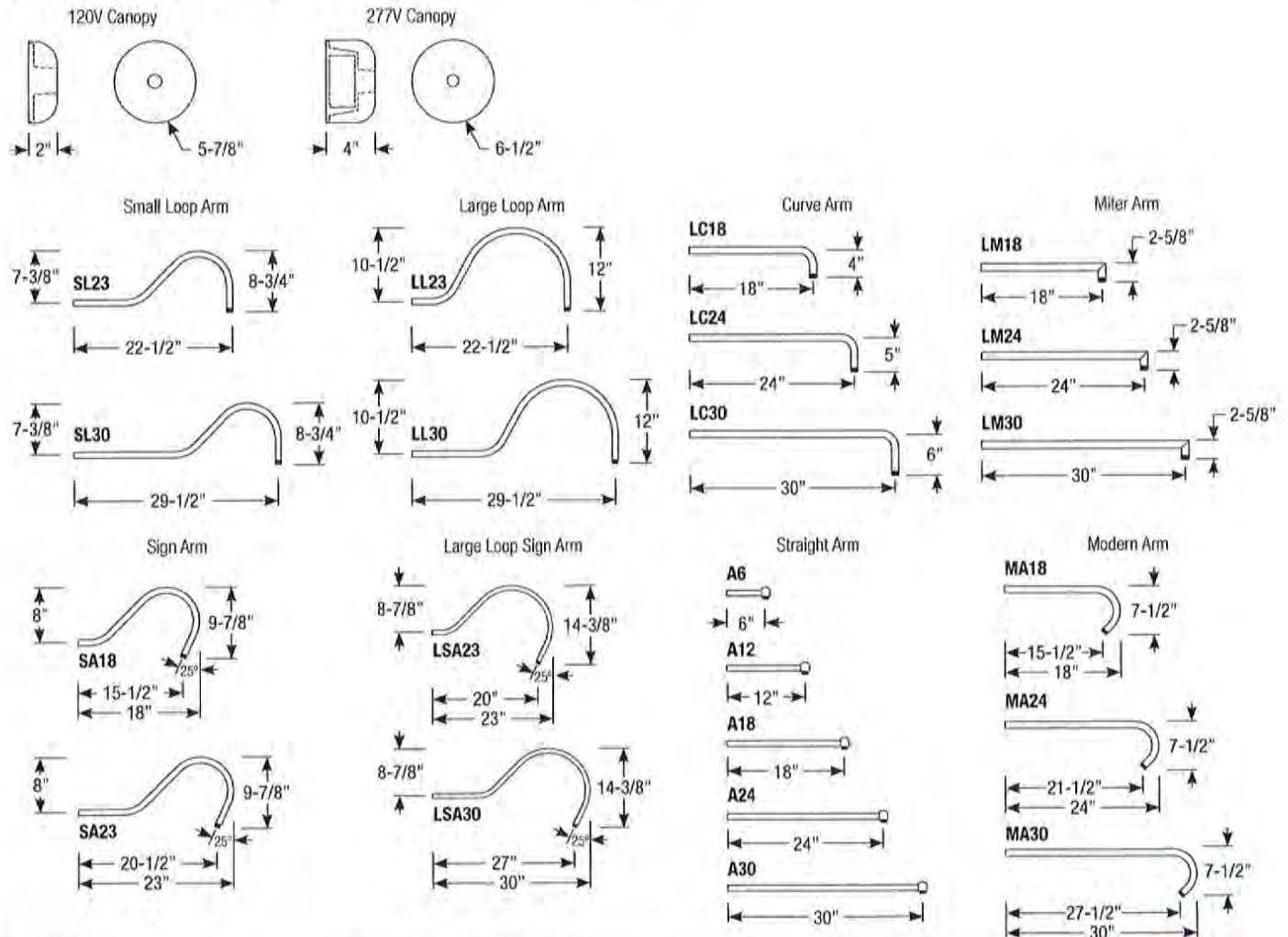
	ABL (Aegean Blue)		PNC (Painted Natural Copper)
	BB (Burnished Bronze)		RD (Red)
	BK (Gloss Black)		SGR (Sage Green)
	BLU (Blue)		SGW (Semi Gloss White)
	DVG (Dove Gray)		SND (Sand)
	FLG (Flannel Gray)		SS (Satin Silver)
	LG (Lime Green)		TBZ (Textured Bronze)
	MB (Matte Black)		TGP (Textured Graphite)
	MBL (Midnight Blue)		TNG (Tangerine)
	PNA (Painted Natural Aluminum)		TTL (Tahitian Teal)
	PNC (Painted Natural Copper)		WT (Gloss White)

Specialty Finishes

	GA (Galvanized)		SA (Satin Aluminum)
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4. Satin aluminum cannot be coated

Note: All arm mounts include canopy



Revised 06/12/18



ANGLE REFLECTOR

Aluminum Shade
with Glass and Guard Options

Catalog #:

Project:

Date:

Type:

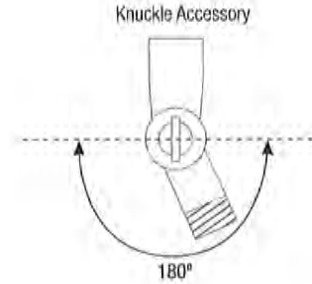
Notes:

Knuckle Accessory Order Matrix (Example: 2KNLRD)

Pipe	Finish	Finish	Coastal Coating Option
<input type="checkbox"/> 2 (1/2" IP)	KNL (Adjustable 180° Knuckle for Arm Mounts)	<input type="checkbox"/> ABL (Aegean Blue)	<input type="checkbox"/> (blank) (No coating)
<input type="checkbox"/> 3 (3/4" IP)		<input type="checkbox"/> BB (Burnished Bronze)	<input type="checkbox"/> -C* (Coating)
		<input type="checkbox"/> BK (Gloss Black)	
		<input type="checkbox"/> BLU (Blue)	
		<input type="checkbox"/> DVG (Dove Gray)	
		<input type="checkbox"/> FLG (Flannel Gray)	
		<input type="checkbox"/> GA (Galvanized)	
		<input type="checkbox"/> LG (Lime Green)	
		<input type="checkbox"/> MB (Matte Black)	
		<input type="checkbox"/> MBL (Midnight Blue)	
		<input type="checkbox"/> PNA (Painted Natural Aluminum)	
		<input type="checkbox"/> PNC (Painted Natural Copper)	
		<input type="checkbox"/> RD (Red)	
		<input type="checkbox"/> SA (Satin Aluminum)	
		<input type="checkbox"/> SGR (Sage Green)	
		<input type="checkbox"/> SGW (Semi Gloss White)	
		<input type="checkbox"/> SND (Sand)	
		<input type="checkbox"/> SS (Satin Silver)	
		<input type="checkbox"/> TBZ (Textured Bronze)	
		<input type="checkbox"/> TGP (Textured Graphite)	
		<input type="checkbox"/> TNG (Tangerine)	
		<input type="checkbox"/> TTL (Tahitian Teal)	
		<input type="checkbox"/> WT (Gloss White)	

Description

Adjustable knuckle for arm mounts that allow luminaire to be rotated up to 180°.



4. Satin aluminum cannot be coated

Standard Finishes

<input type="checkbox"/> ABL (Aegean Blue)	<input type="checkbox"/> PNC (Painted Natural Copper)
<input type="checkbox"/> BB (Burnished Bronze)	<input type="checkbox"/> RD (Red)
<input type="checkbox"/> BK (Gloss Black)	<input type="checkbox"/> SGR (Sage Green)
<input type="checkbox"/> BLU (Blue)	<input type="checkbox"/> SGW (Semi Gloss White)
<input type="checkbox"/> DVG (Dove Gray)	<input type="checkbox"/> SND (Sand)
<input type="checkbox"/> FLG (Flannel Gray)	<input type="checkbox"/> SS (Satin Silver)
<input type="checkbox"/> LG (Lime Green)	<input type="checkbox"/> TBZ (Textured Bronze)
<input type="checkbox"/> MB (Matte Black)	<input type="checkbox"/> TGP (Textured Graphite)
<input type="checkbox"/> MBL (Midnight Blue)	<input type="checkbox"/> TNG (Tangerine)
<input type="checkbox"/> PNA (Painted Natural Aluminum)	<input type="checkbox"/> TTL (Tahitian Teal)
	<input type="checkbox"/> WT (Gloss White)

Specialty Finishes

<input type="checkbox"/> GA (Galvanized)	<input type="checkbox"/> SA (Satin Aluminum)
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Revised 06/01/2018



ANGLE REFLECTOR

Aluminum Shade
with Glass and Guard Options

Catalog #:

Project:

Date:

Type:

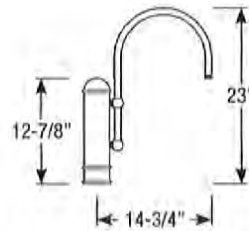
Notes:

Post / Wall Mount Order Matrix (Example: 2W1RD)

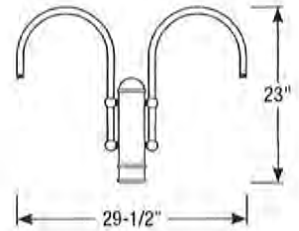
Pipe	Mount Type	Finish	Input Voltage
<input type="checkbox"/> 2 (1/2" IP)	<input type="checkbox"/> P1 (Single Post Mount)	<input type="checkbox"/> ABL (Aegean Blue)	<input type="checkbox"/> (blank) (120V)
	<input type="checkbox"/> P2 (Double Post Mount)	<input type="checkbox"/> BB (Burnished Bronze)	<input type="checkbox"/> -27 ⁵ (277V)
	<input type="checkbox"/> W1 (Traditional Wall Mount)	<input type="checkbox"/> BK (Gloss Black)	
		<input type="checkbox"/> BLU (Blue)	
		<input type="checkbox"/> DVG (Dove Gray)	
		<input type="checkbox"/> FLG (Flannel Gray)	
		<input type="checkbox"/> GA (Galvanized)	
		<input type="checkbox"/> LG (Lime Green)	
		<input type="checkbox"/> MB (Matte Black)	
		<input type="checkbox"/> MBL (Midnight Blue)	
		<input type="checkbox"/> PNA (Painted Natural Aluminum)	
		<input type="checkbox"/> PNC (Painted Natural Copper)	
		<input type="checkbox"/> RD (Red)	
		<input type="checkbox"/> SA (Satin Aluminum)	
		<input type="checkbox"/> SGR (Sage Green)	
		<input type="checkbox"/> SGW (Semi Gloss White)	
		<input type="checkbox"/> SND (Sand)	
		<input type="checkbox"/> SS (Satin Silver)	
		<input type="checkbox"/> TBZ (Textured Bronze)	
		<input type="checkbox"/> TGP (Textured Graphite)	
		<input type="checkbox"/> TNG (Tangerine)	
		<input type="checkbox"/> TTL (Tahitian Teal)	
		<input type="checkbox"/> WT (Gloss White)	

5. Post mount only

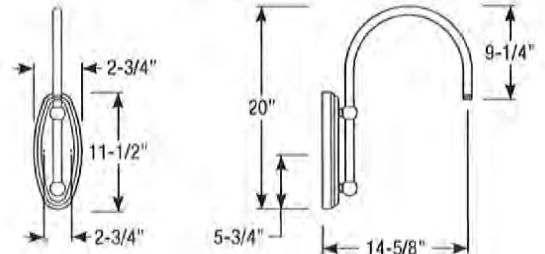
Single Post Mount



Double Post Mount



Traditional Wall Mount



Post Type Order Matrix (Example: P8683-96RD)

Post Type	Finish
<input type="checkbox"/> PM4946 (Cast Aluminum Post)	<input type="checkbox"/> ABL (Aegean Blue)
<input type="checkbox"/> P8683-96 (Cast Aluminum Base w/ 96" Aluminum Post)	<input type="checkbox"/> BB (Burnished Bronze)
<input type="checkbox"/> P8683-120 (Cast Aluminum Base w/ 120" Aluminum Post)	<input type="checkbox"/> BK (Gloss Black)
<input type="checkbox"/> P8684-96 (96" Straight Aluminum Post)	<input type="checkbox"/> BLU (Blue)
<input type="checkbox"/> P8684-120 (120" Straight Aluminum Post)	<input type="checkbox"/> DVG (Dove Gray)
<input type="checkbox"/> PM8685 (Cast Aluminum Pier Mount - must be used with straight aluminum post, P8683)	<input type="checkbox"/> FLG (Flannel Gray)
	<input type="checkbox"/> GA (Galvanized)
	<input type="checkbox"/> LG (Lime Green)
	<input type="checkbox"/> MB (Matte Black)
	<input type="checkbox"/> MBL (Midnight Blue)
	<input type="checkbox"/> PNA (Painted Natural Aluminum)
	<input type="checkbox"/> PNC (Painted Natural Copper)
	<input type="checkbox"/> RD (Red)
	<input type="checkbox"/> SA (Satin Aluminum)
	<input type="checkbox"/> SGR (Sage Green)
	<input type="checkbox"/> SGW (Semi Gloss White)
	<input type="checkbox"/> SND (Sand)
	<input type="checkbox"/> SS (Satin Silver)
	<input type="checkbox"/> TBZ (Textured Bronze)
	<input type="checkbox"/> TGP (Textured Graphite)
	<input type="checkbox"/> TNG (Tangerine)
	<input type="checkbox"/> TTL (Tahitian Teal)
	<input type="checkbox"/> WT (Gloss White)

Standard Finishes

<input type="checkbox"/> ABL (Aegean Blue)	<input type="checkbox"/> PNC (Painted Natural Copper)
<input type="checkbox"/> BB (Burnished Bronze)	<input type="checkbox"/> RD (Red)
<input type="checkbox"/> BK (Gloss Black)	<input type="checkbox"/> SGR (Sage Green)
<input type="checkbox"/> BLU (Blue)	<input type="checkbox"/> SGW (Semi Gloss White)
<input type="checkbox"/> DVG (Dove Gray)	<input type="checkbox"/> SND (Sand)
<input type="checkbox"/> FLG (Flannel Gray)	<input type="checkbox"/> SS (Satin Silver)
<input type="checkbox"/> LG (Lime Green)	<input type="checkbox"/> TBZ (Textured Bronze)
<input type="checkbox"/> MB (Matte Black)	<input type="checkbox"/> TGP (Textured Graphite)
<input type="checkbox"/> MBL (Midnight Blue)	<input type="checkbox"/> TNG (Tangerine)
<input type="checkbox"/> PNA (Painted Natural Aluminum)	<input type="checkbox"/> TTL (Tahitian Teal)
<input type="checkbox"/> WT (Gloss White)	<input type="checkbox"/> SA (Satin Aluminum)

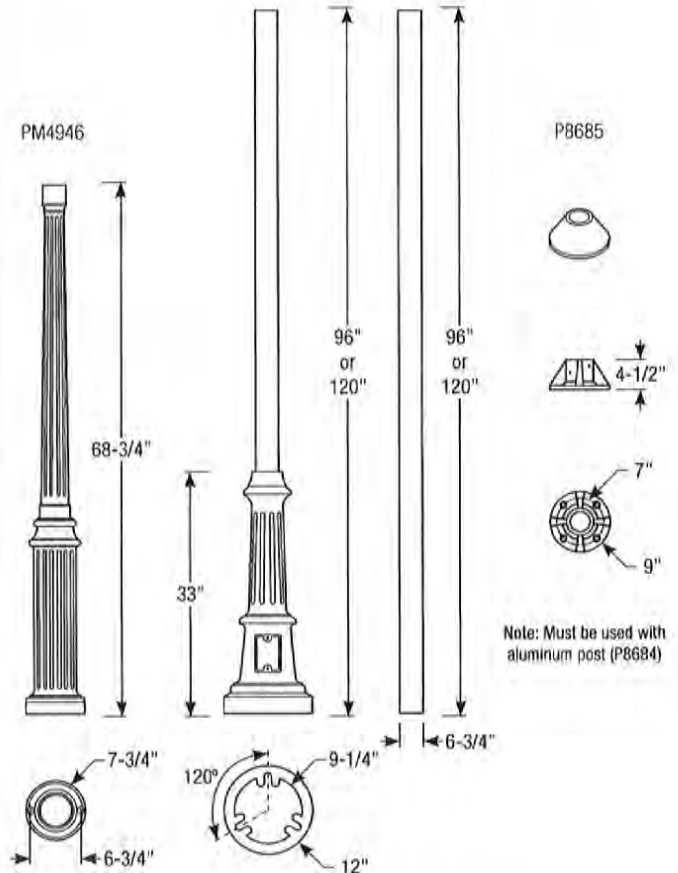
Specialty Finishes

<input type="checkbox"/> GA (Galvanized)	<input type="checkbox"/> SA (Satin Aluminum)
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Revised 06/01/2018

P8683

P8684



Note: Must be used with aluminum post (P8684)





FACT SHEET

AGENDA ITEM NO: 12

DATE: 6/22/2020

ORDINANCE NO:

RESOLUTION NO: 20-37

READING: FIRST

PUBLIC HEARING: NO

TO: Mayor and Members of City Council

FROM: R. Thomas Homan, City Manager

VIA: Justin Nahvi, Finance Director

TITLE OF PROPOSED ORDINANCE/RESOLUTION:

A RESOLUTION AUTHORIZING THE CITY OF DELAWARE TO REQUEST A SHARE OF FUNDS FROM THE COUNTY CORONAVIRUS RELIEF DISTRIBUTION FUND.

BACKGROUND:

Senate Bill 310 authorizes the distribution of \$350 million of CARES Act relief funds to Counties throughout the State. County Auditors will then distribute these funds to Cities, Villages and Townships based on the entity's proportion of Local Government Fund revenue allocated to subdivisions during 2019. The City may be eligible for up to \$777,829 in CARES Act funding.

REASON WHY LEGISLATION IS NEEDED:

The Ohio Office of Budget and Management is requiring local governments to register for this funding through the OBM grants portal as well as pass legislation that outlines how CARES Act funds must be spent. The grants portal registration process for the City was finalized on June 9, 2020.

COMMITTEE RECOMMENDATION:

N/A

FISCAL IMPACT(S):

Secondary legislation to establish the Local Coronavirus Relief Fund as well as the appropriations to expend these funds will be submitted to City Council for consideration in July 2020.

POLICY CHANGES:

N/A

PRESENTER(S):

Justin Nahvi, Finance Director

RECOMMENDATION:

Approval

ATTACHMENT(S)

None

RESOLUTION 20-37

A RESOLUTION AUTHORIZING THE CITY OF DELAWARE TO REQUEST A SHARE OF FUNDS FROM THE COUNTY CORONAVIRUS RELIEF DISTRIBUTION FUND.

WHEREAS, the Coronavirus Aid, Relief, and Economic Security Act, 116 Public Law 136, (the CARES Act) was signed into law by the President of the United States on March 27, 2020; and

WHEREAS, the Ohio General Assembly established a process for distributing funds provided by the “Coronavirus Aid, Relief, and Economic Security Act” in H.B. 481 of the 133rd General Assembly (H.B. 481); and

WHEREAS, H.B. 481 requires subdivisions receiving funds under Section 1 of the act, to pass a resolution affirming that funds from the County Coronavirus Relief Distribution Fund may be expended only to cover costs of the subdivision consistent with the requirements of section 5001 of the CARES Act as described in 42 U.S.C. 601(d), and any applicable regulations before receiving said funds; and

WHEREAS, City of Delaware is requesting its share of funds from the County Coronavirus Relief Distribution Fund.

NOW THEREFORE, BE IT RESOLVED by the Council of City of Delaware, State of Ohio:

SECTION 1: That the City of Delaware that affirms that all funds received from the County Coronavirus Relief Distribution Fund pursuant to H.B. 481 be expended only to cover costs of the subdivision consistent with the requirements of section 5001 of the CARES Act as described in 42 U.S.C. 601(d), and any applicable regulations and guidance only to cover expenses that:

- (1) Are necessary expenditures incurred due to the public health emergency with respect to the Coronavirus Disease 2019 (COVID-19);
- (2) Were not accounted for in City of Delaware’s most recently approved budget as of March 27, 2020; and
- (3) Were incurred during the period that begins on March 1, 2020, and ends on December 30, 2020.

SECTION 2: Furthermore, in compliance with H.B. 481, be it resolved by the Council of City of Delaware, State of Ohio that the Finance Director take all necessary action to:

- (1) On or before October 15, 2020, pay any unencumbered balance of money in the City of Delaware's local coronavirus relief fund to the County Treasurer;
- (2) On or before December 28, 2020, pay the balance of any money in the City of Delaware's local coronavirus relief fund to the state treasury in the manner prescribed by the Director of the Ohio Office of Budget and Management; and
- (3) Provide any information related to any payments received under H.B. 481 to the Director of the Ohio Office of Budget and Management as requested.

SECTION 3. This resolution shall be effective immediately upon its passage.

PASSED: _____, 2020

YEAS___ NAYS___

ABSTAIN ___

ATTEST: _____

CITY CLERK

MAYOR



MEMORANDUM

TO: Mayor Riggle and Members of City Council
FROM: Elaine McCloskey, City Council Clerk
CC: R. Thomas Homan, City Manager, Kyle Kridler, Assistant City Manager, Directors
DATE: June 16, 2020
RE: Surrounding Communities Plan for Council Meetings

As Council discusses the option of returning to open meetings or continuing to meet virtually, it was requested that I reach out to surrounding municipalities to determine their plan of action. Below is the feedback that I received.

Marysville: Will start resuming in July in person meetings at a different venue. They will be utilizing the Union County Veteran's Memorial Auditorium to conduct their meetings where council will be located on the stage six feet apart from each other. The auditorium is marked on where individuals may sit. Participants are encouraged to wear a mask if they are unable to be six feet apart. Council and Staff present will be encouraged to wear a mask during the meeting. A problem they are having with the new location is setting it up for audio and visual. The auditorium will only be used for council meetings, while boards and commission meetings are expected to remain virtual/zoom through the remainder of the summer.

Westerville: will start resuming in person meetings in their chambers. Councilmembers will be seating six feet apart. Seating for the public will be limited and six feet apart. Any public that is unable to take a seat who wishes to speak during the meeting must wait in the lobby area in a marked spot. A staff member will admit speakers into Chambers one at a time until the last person has spoken. Staff permitted in Chambers will be Clerk of Council, City Manager, Assistant City Manager, Law Director and Finance Director. Other staff will be staged in the building and permitted in by a staff member at the appropriate time. Participants will not be allowed to touch the podium and masks will be work by anyone in the Chamber until they are speaking.

Worthington: will continue to do virtual meetings and has no immediate plans to return to open meetings until possibly September.

Hilliard: will continue to meet virtually and have not set a date of when they plan to return to open session. They continue to stream their meetings on Facebook Live.

Grove City: will continue to meet virtually as their City Hall remains closed at this time. Per their Clerk they have purchased body scanners to take temperatures and are waiting for those to arrive before proceeding with in house meetings. Anyone entering City Hall once opened will have to have their temperature scanned and wear face coverings.

Dublin: has started resuming regular Council meetings but are continuing to do virtual board/commission meetings. Council is not seated at the dais for the meetings, but instead are at tables to provide six-foot social distancing on the floor of chambers. There is limited staff attendance. Anyone entering the meeting are having their temperature checked and masks are required to be worn. Currently they are not allowing the public into the meeting and other than Council and necessary staff the only other people in attendance are those with a presentation. They are unsure when they will return to all meetings in person.

Powell: Powell City Council has resumed meeting in person. They are sitting six feet apart and Council were requested to wear masks and have their temperature taken prior to the meeting. They are not allowing the public to enter the meetings at this time. Public comments will continue to be requested to be submitted ahead of the meeting.

20 E Winter Street Delaware, OH 43015

Main Street Delaware, Inc. is a 501(c)(3) nonprofit organization dedicated to the preservation, revitalization, and beautification on Historic Downtown Delaware.

T: (740) 362-6050

E: officeassistant@mainstreetdelaware.com

W: www.mainstreetdelaware.com

F: facebook.com/MainStreetDelaware



June 16, 2020

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Vice President

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Jorge Sanclemente

Kelsey Scott

Linda Shearer

Terri-Lynne Smiles

STAFF

Susie Bibler

Executive Director

Caroline Pusateri

Program Coordinator

To members of Delaware City Council,

Main Street Delaware's intention with this letter is to update you on the state of our organization and desire to pursue a lease agreement for a new Main Street headquarters and Delaware Welcome Center at 20 E William Street. Our plans to renovate and occupy the building remain unchanged, and we are in the process of a major fundraising effort to support the Welcome Center and other initiatives.

Like most organizations, the forced closures resulting from the COVID-19 pandemic have impacted Main Street's ability to raise funds through events and sponsorships. While our income has declined, our expenses have declined as well, and we recently received PPP funding through our local financial institution to offset payroll expenses. While we continue to monitor our financial position, we also have reserve funds to continue operations for three to six months with reduced income.

Main Street continues to support the downtown businesses in job creation, marketing, and communication. Throughout the pandemic and partial flooding of downtown, we have continued to support downtown businesses through relief efforts in the form of financial grants, donation of supplies, and volunteer assistance. In total, Main Street has returned an estimated \$35,000 worth of assistance over the past few weeks. Additionally, we have temporarily relocated the Farmer's Market to continue an essential community service despite realizing a 50 percent reduction in market program revenue. The importance and viability of the organization to downtown is apparent now more than ever, and we are ready to launch a fundraising campaign to continue and strengthen our efforts.

Main Street continues to facilitate meetings with downtown property owners to increase investment in the downtown. A strategic plan to identify economic development strategies to guide future downtown investments is being discussed.

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Executive Director

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Program Coordinator

Economic development strategies may lead to the creation of a Special Improvement District (SID) and/or entertainment district. A SID, partnered with Main Street, would provide a predictable revenue source to enhance City services to businesses and property owners. Services may include sidewalk repairs and litter, graffiti, and snow removal, as well as public safety and communication.

Despite the current economic situation, Main Street remains confident in the viability of the organization and continued economic growth of the downtown. Our plan is to build on our proven success while positioning the organization for growth as we exit the current economic downturn.

We are grateful for your continued partnership with Main Street Delaware and are looking forward to future successes in 2020 and years to come.

Sincerely,

Main Street Delaware Board of Directors