

**CITY OF DELAWARE  
PLANNING COMMISSION  
AGENDA**

**MEETING TO BE HELD VIRTUALLY VIA CISCO Webex \*\*  
6:30 P.M.**

REGULAR MEETING

August 5, 2020

1. ROLL CALL
2. APPROVAL of the Motion Summary of the Planning Commission meeting held on July 1, 2020, as recorded and transcribed.
3. REGULAR BUSINESS
  - A. Terra Alta – Section 2
    - (1) 2020-1303: A request by Terra Alta LLC., for approval of a Final Development Plan for Terra Alta Section 2 Part 1 for 65 single-family lots on approximately 18.885 acres zoned A-1 PMU (Agricultural District with a Planned Mixed-Use Overlay District) and located on Firenze Road and Talla Road North and South.
    - (2) 2020-1304: A request by Terra Alta LLC., for approval of a Final Subdivision Plat for Terra Alta Section 2 Part 1 for 65 single-family lots on approximately 18.885 acres zoned A-1 PMU (Agricultural District with a Planned Mixed-Use Overlay District) and located on Firenze Road and Talla Road North and South.
    - (3) 2020-1305: A request by Terra Alta LLC., for approval of a Final Development Plan for Terra Alta Section 2 Part 2 for 27 single-family lots on approximately 7.634 acres zoned A-1 PMU (Agricultural District with a Planned Mixed-Use Overlay District) and located on Lucca Road and Talla Road.
    - (4) 2020-1306: A request by Terra Alta LLC., for approval of a Final Subdivision Plat for Terra Alta Section 2 Part 2 for 27 single-family lots on approximately 7.634 acres zoned A-1 PMU (Agricultural District with a Planned Mixed-Use Overlay District) and located on Lucca Road and Talla Road.

**Anticipated Process**

- a. Staff Presentation
- b. Applicant Presentation
- c. Public comment (not a public hearing)

Due to the meeting being held virtually, public comment, less than 500 words is requested to be received by 3 p.m. before the meeting through email at [emccloskey@delawareohio.net](mailto:emccloskey@delawareohio.net). To request to make a public

comment virtually please email [emccloskey@delawareohio.net](mailto:emccloskey@delawareohio.net) by 3 p.m. prior to the meeting. Comments received on Facebook may have to be addressed by staff subsequent to the meeting.

d. Commission Action

B. Delaware Square

- (1) 2020-1498: A request by Gosula Holdings LTD., for approval of a Conditional Use Permit for a Drive Thru for a New Commercial Building on approximately 0.605 acres on property zoned B-3 (Community Business District) and located at 1163 Columbus Pike (an out parcel of the Delaware Square Shopping Center).
- (2) 2020-1499: A request by Gosula Holdings LTD., for approval of a Combined Preliminary and Final Development Plan for a New Commercial Building on approximately 0.605 acres on property zoned B-3 (Community Business District) and located at 1163 Columbus Pike (an out parcel of the Delaware Square Shopping Center).

**Anticipated Process**

- a. Staff Presentation
- b. Applicant Presentation
- c. Public comment (public hearing)

Due to the meeting being held virtually, public comment, less than 500 words is requested to be received by 3 p.m. before the meeting through email at [emccloskey@delawareohio.net](mailto:emccloskey@delawareohio.net). To request to make a public comment virtually please email [emccloskey@delawareohio.net](mailto:emccloskey@delawareohio.net) by 3 p.m. prior to the meeting. Comments received on Facebook may have to be addressed by staff subsequent to the meeting.

d. Commission Action

4. PLANNING DIRECTOR'S REPORT
5. COMMISSION MEMBER COMMENTS AND DISCUSSION
6. NEXT REGULAR MEETING: September 2, 2020
7. ADJOURNMENT

\*\* This meeting will be a virtual meeting. Residents are encouraged to view online through the City of Delaware Facebook page. To comply with the CDC recommendation prohibiting group meetings, no in person attendance by Council, staff, or the public will be available.

**PLANNING COMMISSION**  
**July 1, 2020**  
**MOTION SUMMARY**

ITEM 1. Roll Call

Chairman Simpson called the meeting to order at 6:33 p.m.

Members Present Virtually: Jim Halter (arrived at 6:37 p.m.), Dean Prall, Andy Volenik, Mayor Carolyn Kay Riggle, Vice-Chairman George Mantzoros and Chairman Stacy Simpson

Staff Present Virtually: Carrie Fortman, Project Engineer, Lance Schultz, Zoning Administrator and Dave Efland, Planning and Community Development Director

City Council Clerk notified the Commission that she had received notification from Mr. Halter that he was having difficulty logging into the meeting virtually.

**Motion to Excuse:** Mr. Prall motioned to excuse Mr. Halter, seconded by Mr. Volenik. Motion approved by a 5-0 vote.

ITEM 2. APPROVAL of the Motion Summary of the Planning Commission meeting held on June 3, 2020, as recorded and transcribed.

**Motion:** Mr. Prall motioned to approve the Motion Summary for the Planning Commission meeting held on June 3, 2020, as recorded and transcribed, seconded by Vice-Chairman Mantzoros. Motion approved with 5-0 vote.

ITEM 3. REGULAR BUSINESS

A. 2020-1037: A request by Dylan J. Menges Trustee for approval of a Rezoning Amendment from A-1 (Agricultural District) to R-3 (One-Family Residential District) on 1.853 acres at 748 Cheshire Road.

**Anticipated Process**

a. Staff Presentation

Mr. Schultz reviewed the subject site location which is located in the County but is currently in the process of being annexed into the City with the intent of synchronizing the annexation and zoning approval to R-3 at the same time. The subject sites 1.853 acres is currently a single-family house with a detached garage and would remain the same with the intent of the owner to access City utilities if needed.

b. Applicant Presentation

APPLICANT:

Michael R. Shade  
236 West Central Avenue  
Delaware, Ohio

c. Public comment (public hearing)

There was no public participation.

d. Commission Action

**Motion:** Mr. Prall motioned to approve 2020-1031, along with all staff conditions and recommendations, seconded by Mr. Volenik. Motion approved by a 5-0 vote, as Vice-Chairman Mantzoros lost virtual connection and was unable to provide a vote.

Vice-Chairman Mantzoros was able to reconnect virtually to the meeting and requested that the vote be reconsidered.

**Motion:** Mr. Volenik motioned to reconsider and approve 2020-1037, along with all staff conditions and recommendations, seconded by Mr. Halter. Motion approved by a 6-0 vote.

B. Ravines at Olentangy – Section 2

- (1) 2020-1165: A request by T&R Properties Inc. for approval of a Final Subdivision Plat for the Ravines at Olentangy Section 2 Phase A for 49 single-family lots on 23.966 acres on property zoned R-3 PMU (One-Family Residential District with a Planned Mixed Use Overlay District) and located on Rochdale Run just north of Randall Road.
- (2) 2020-1166: A request by T&R Properties Inc. for approval of a Final Subdivision Plat for the Ravines at Olentangy Section 2 Phase B for 34 single-family lots on 9.412 acres on property zoned R-3 PMU (One-Family Residential District) with a Planned Mixed Use Overlay District and located on Rochdale Run just north of Randall Road.

**Anticipated Process**

a. Staff Presentation

Mr. Schultz discussed the subject development which is located on the north side of Curve Road and south of the railroad tracks with Section 2 being located north of Randell Road within the subdivision. The subject site is zoned R-3 PMU. He reviewed the background of the property site, roads and access, pedestrian

connectivity, landscaping and open space.

Mr. Halter questioned why the City is responsible for the bike trail. Mr. Efland discussed that this is part of the adopted bicycle and Pedestrians Master Plan 2027 in which this path would go to the river. Mayor Riggle requested information on the location of the closed landfill area in proximity to the development.

b. Applicant Presentation

APPLICANT:

RJ Sabatino  
T & R Properties, Inc  
3895 Stonehedge Court  
Dublin, Ohio 43017

c. Public comment (not a public hearing)

There was no public comment.

d. Commission Action

**Motion:** Mr. Prall motioned to approve 2020-1165, along with all staff conditions and recommendations, seconded by Mr. Volenik. Motion approved by a 6-0 vote.

**Motion:** Mr. Prall motioned to approve 2020-1166, along with all staff conditions and recommendations, seconded by Mr. Volenik. Motion approved by a 6-0 vote.

- C. 2020-1036: A request by Route 36 Partners LLC/Section Line Partners LLC for review of a Concept Plan for the Davis Property mixed-use residential and commercial development on approximately 138 acres located on the southeast corner of US 36 and Section Line Road.

**Anticipated Process**

a. Staff Presentation

Mr. Schultz discussed the location of the subject site which is located on the south side of US 36 and on the east side of South Section Line Road. He discussed the surround zoning and that the property to the west is zoned QD for Quarry District, which is located in the Township. The owner is proposing a mix-use residential and commercial development for the 138 acre site which would have 561 residential

dwelling units encompassing approximately 77.94 acres, 17.93 acres of commercial development and approximately 37.10 open space and approximately 4.61 acres of right-of-way. He discussed the road network connections to the site from Heatherton Subdivision, additional access locations and bike path connectivity.

Vice-Chairman Mantzoros discussed examples of mitigation that the developer could take in regard to the quarry. Mr. Efland discussed that there are complaints received from time to time during the blasting at the quarry. The quarry is regulated by the State of Ohio and that it is not located in the City. In regard to noise, he discussed options that could be considered such as double or triple pane windows. He discussed looking at construction techniques to help mitigate/minimize vibrations and would need further exploration.

b. Applicant Presentation

APPLICANT:

Greg Chillog

EDGE

330 West Spring Street, Suite 350

Columbus, Ohio 43215

Jim Ullman

1520 Hyatts Road

Delaware, Ohio

Mr. Chillog discussed working with environmental engineers to look at the site. He discussed the concept plan to bring diversity of housing, commercial and green space to the area. He discussed the ability to disperse traffic off the main roads. He discussed the need for work force housing in the area.

c. Public comment (not a public hearing)

There was no public comment received via email. The Clerk reviewed comments received via Facebook with concerns relating to the proximity to the Quarry, the strain on the school district, the preference for the current tree line to remain, and concerns with the mixed use of the area.

d. No Commission Action Required

ITEM 4. PLANNING DIRECTOR REPORT

ITEM 5. COMMISSION MEMBER COMMENTS AND DISCUSSION

Mayor Riggle discussed holding off interviews for open commission positions due to City Hall continuing to be closed for COVID-19.

ITEM 6. NEXT REGULAR MEETING: August 5, 2020

ITEM 7. ADJOURNMENT:

**Motion:** Chairman Simpson moved for the Planning Commission meeting to adjourn. The meeting adjourned at 8:20 p.m.

---

Chairperson

---

Elaine McCloskey, Clerk



## PLANNING COMMISSION / STAFF REPORT

CASE NUMBERS: 2020-1303-1306

REQUEST: Multiple Requests

PROJECT: Terra Alta

MEETING DATE: August 5, 2020

---

### APPLICANT/OWNER

Terra Alta LLC  
148 West Schrock Road  
Westerville, Ohio 43081

### REQUESTS

2020-1303: A request by Terra Alta LLC., for approval of a Final Development Plan for Terra Alta Section 2 Part 1 for 65 single-family lots on approximately 18.885 acres zoned A-1 PMU (Agricultural District with a Planned Mixed-Use Overlay District) and located on Firenze Road and Talla Road North and South.

2020-1304: A request by Terra Alta LLC., for approval of a Final Subdivision Plat for Terra Alta Section 2 Part 1 for 65 single-family lots on approximately 18.885 acres zoned A-1 PMU (Agricultural District with a Planned Mixed-Use Overlay District) and located on Firenze Road and Talla Road North and South.

2020-1305: A request by Terra Alta LLC., for approval of a Final Development Plan for Terra Alta Section 2 Part 2 for 27 single-family lots on approximately 7.634 acres zoned A-1 PMU (Agricultural District with a Planned Mixed-Use Overlay District) and located on Lucca Road and Talla Road North.

2020-1306: A request by Terra Alta LLC., for approval of a Final Subdivision Plat for Terra Alta Section 2 Part 2 for 27 single-family lots on approximately 7.634 acres zoned A-1 PMU (Agricultural District with a Planned Mixed-Use Overlay District) and located on Lucca Road and Talla Road North.

### PROPERTY LOCATION & DESCRIPTION

Terra Alta is a 472.9-acre development with 870 single-family units located north of Braumiller Road, east of Pollock Road and west of Berlin Station Road. Section 2 is located in the northwestern portion of the development north of Terra Alta Drive and contains 92 single family lots on approximately 26.519 acres. The development is zoned A-1 PMU and Section 2 is located within Sub-Area 4 of the development. The zoning to the north is FR-1 (Farm Residential) in the Township, the properties to the east and south is zoned A-1 PMU and the properties to the west are zoned R-6

### BACKGROUND

In March 2020, the developer received a Rezoning Amendment, Conditional Use Permit, Amended Preliminary Development Plan and Amended Preliminary Subdivision Plat approval by the Planning Commission and City Council. The development combined the former Stockdale Farms development with the Terra Alta development and included the Rogers property and now totals a proposed 870 single family units with 657 single family lots and 213 condominium, patio home and duplex units on 472.9 acres.

In September 2014, Terra Alta Section 1 Part 1 and 2 received Final Development Plan and Final Subdivision Plat (Ordinances 14-89-92) for 73 single family lots on approximately 78.89 acres. The site construction has been completed and the developer is currently selling houses in Section 1.

Now the developer is proposing Final Development Plans and Final Subdivision Plats for Section 2 Parts 1 and 2 which would contain 92 single family lots on approximately 26.519 acres. Section 2 Part 1 would have 67 single family lots on approximately 18.855 acres and Part 2 would have 27 single family lots on approximately 7.634 acres.

---

### STAFF ANALYSIS

- **ZONING:** As mentioned above, the zoning for Terra Alta is A-1 PMU and Section 2 is within Sub-Area 4 which has specific development standards for this section. From a zoning procedure perspective, Section 2 would require Final Development Plan and Final Subdivision Plat approval by the Planning Commission and City Council.
- **ENGINEERING** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding



the layout and details of the project are preliminary and subject to modification or change based on a technical review by the Engineering Department once a complete plan set is submitted for review.

- **ROADS AND TRAFFIC:** Section 2 is accessed from Terra Alta Drive (from west to east) by Firenze Road. Lucca Road and Talla Road North which all extend north into Section 2. Tella Road North and South create a loop within this Section. All streets would have to achieve compliance with the minimum engineering standards. In addition, the emergency access to Section 2 shall be approved by the City Engineer and Fire Department. Also, as part of the original approval, the applicant has agreed to a transportation contribution of \$1,000 per dwelling unit due upon building permit approval for each unit. Furthermore, Terra Alta Drive shall be connected to its intersection with Berlin Station Road no later than when the 166<sup>th</sup> building permit which would be required for any lots or condominium units approved beyond Section 2 (this includes Section 1 Part 1 and 2).
- **BIKE PATHS AND PEDESTRIAN ROUTES:** The applicant has provided a bike path/pedestrian plan from Braumiller Road north thru to the development to stub into the Preservation Park property located just north of the development which is an important alignment in the adopted Bicycle and Pedestrian Master Plan 2027. However, there are not any bike or pedestrian paths proposed in Section 2. Also, sidewalks will be provided on both sides of all public streets in this section. In Section 1 the existing sidewalk that extends west to Pollack Road and ultimately to the river parkland would need to be redesigned per the City Engineer.
- **SITE LAYOUT:** As mentioned above, Section 2 is located north of Terra Alta Drive and is accessed by Talla Road North which essentially loops thru this section with Firenze Road and Lucca Road extending north into this Section. Section 2 Part 1, with 65 single family lots, is located on the western portion of the section while Section 2 Part 2, which contains 27 single family lots, is located on the eastern portion of the section. Tree preservation zones are located in the rear yards along the majority of the northern portion of the section (lots 13402-13414 & 13465-13472) and along the southwestern portion of this section (lots-13391-13397). Section 2 is located within Sub-Area 4 which includes following development standards such as permitted uses, density, minimum lot area, setbacks, minimum house square footage and maximum building height:
  - **Sub-Area 4**
    - Permitted Uses – Single family homes
    - Maximum Density – 92 lots
    - Minimum lot area – 7,540 square feet
    - Minimum Lot Width at Building Line – 58 feet
    - Front Yard Setback/Building line – 30 feet
    - Side Yard Setback – 6 feet
    - Rear Yard Setback – 30 feet
    - Minimum House Square Footage
      - 1,400 square feet – lots 13410, 13413, 13468, 13436, 13434, 13432, 13426, 13423, 13420
      - 1,500 square feet – remainder of the lots
    - Maximum Building Height – 35 feet
    - Maximum Building Height – 35 feet
    - Maximum Building Height – 35 feet
- **RESIDENTIAL DESIGN STANDARDS:** Being a PMU Overlay, specific Development Text sets forth the development standards and requirements for this development. It should be noted that this text allows for a much higher quality development from both a site planning and architectural design standpoint than that which would be permitted by either base or PRD zoning. Not only would the houses have to meet the minimum standards of the Residential Development Design Criteria and Performance Standards in Chapter 1171 but also the more restrictive residential architectural standards in the approved PMU (Planning Mixed Use Overlay District) development text. Some of the upgrades for the single-family houses include: 1.) At least 35% (stone or brick) of the front elevation of all homes shall consist of an approved natural material as

defined in the text; 2.) Fiber cement siding, EIFS, stucco or similar products are prohibited as defined as a natural material but can be used as a non-natural building material; 3.) Dimensional shingles on all homes; 4.) Upgraded garage door standards for doors that face a public street. 5.) No blank walls.

- **PARKLAND AND OPEN SPACE:** The entire development has approximately 179.28 acres of open space and parkland (37.8%) but none of the parkland and open space is located in the Section 2. However, the developer is proposing to construct the club house with a pool in Reserve F (located just east of Section 2 and north of Section 1 on Terra Alta Drive) within the same timeframe as Section 2. The developer is proposing to submit the Final Development Plan and Final Subdivision Plat for the clubhouse with a pool in the near future. Furthermore, staff and the developer have agreed on a comprehensive Parks and Open Space Plan that would achieve compliance with the Preliminary Development Plan requirements and provide for a significantly more upgraded package than base code or even several other Planned Developments.
- **LANDSCAPING AND SCREENING:** The subject section would require street trees along all the public streets which would require approval by the Shade Tree Commission. It is imperative that the Applicant coordinate the street tree plan with the engineering site development plan so that the landscaping does not impact any utility lines or impede visibility at intersections, or the visibility of any traffic control signs.
- **TREE PRESERVATION:** The development is proposed in a manner that maximizes tree preservation on the entire site while allowing for reasonable development. Consistent with the methodology acceptable in other recent approvals this has already been approved within the approved zoning development text and remains in effect. The tree replacement plan requires the following fee at building permit approval:
  - At the time of permit issuance, a \$500 fee shall be paid for each single-family lot in Section 2.
  - Also, the developer has agreed for each single-family house, 2 replacement trees shall be planted (in addition to the required plantings).

As mention above, a tree preservation zone is located in the rear yards along the majority of the northern portion of the section (lots 13402-13414 & 13465-13472) and along the southwestern portion of this section (lots-13391-13397). Staff recommends that utilities should not be located within tree preservation easements and ensure the subject lots impacted could yield a maximum size house with an acceptable deck.

- **LIGHTING PLAN:** A lighting plan would need to be submitted, reviewed and approved by the City that would achieve compliance with the zoning code.
- **FIRE DEPARTMENT:** The proposed section would need to achieve compliance with all fire department requirements.

---

**STAFF RECOMMENDATION – (2020-1303 FINAL DEVELOPMENT PLAN)**

Staff recommends approval of request by Terra Alta LLC for a Final Development Plan for Terra Alta Section 2 Part 1 for 65 single-family lots on approximately 18.885 acres zoned A-1 PMU (Agricultural District with a Planned Mixed-Use Overlay District) and located on Firenze Road and Talla Road North and South, with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department. In addition, County Engineer's approval would be required for roadway and storm water issues that are located within their jurisdiction.
2. All the streets shall achieve compliance with the minimum radii requirements or per the City Engineer.
3. All public utilities shall be extended to stub to the adjacent property lines and appropriate sections within the development.
4. The developer shall be responsible for any improvements and/or financial obligations of the traffic impact study per the City Engineer and/or County Engineer.

5. A \$1,000 per dwelling unit transportation contribution fee shall be collected with each building permit for needed area transportation improvements.
6. Terra Alta Drive shall be connected to its intersection with Berlin Station Road no later than the 166<sup>th</sup> building permit which is the next approved section (Section 1 and 2 equal 165 single family lots).
7. An agreement between the developer and the City shall be executed to allow the adjacent properties to access the regional lift station per the City Engineer requirements.
8. Sidewalks shall be provided on both sides of all public streets.
9. In Section 1 the existing sidewalk that extends west to Pollack Road and ultimately to the river parkland shall be redesigned per the City Engineer.
10. The proposed Parks and Open Space Plan amenities shall be constructed with subject section it is located in or before.
11. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
12. The single-family houses shall comply with the minimum architectural standards in the approved development text and per applicable sections of the current zoning code.
13. All landscape plans shall be submitted, reviewed and approved by the Shade Tree Commission.
14. The 24,562-acre open space along the Olentangy River (just west of Terra Alta Drive on Pollock Road) shall be dedicated to the City prior to any building permit approval in Section 2.
15. For each single-family house, a \$500 fee shall be paid for each single-family lot at time of building permit issuance to achieve compliance with the approved development text to achieve compliance with Chapter 1168 Tree Preservation Regulations.
16. The developer shall plant 2 replacement trees for each single-family house (in addition to the required plantings).
17. The street lighting plan shall be submitted, reviewed and approved by the City that achieves compliance with all zoning requirements prior to construction drawing approval.
18. Conservation easements shall be provided on any existing streams in this section.
19. The emergency access to Section 2 shall be approved by the City Engineer and Fire Department.

---

**STAFF RECOMMENDATION – (2020-1304 FINAL SUBDIVISION PLAT)**

Staff recommends approval of request by Terra Alta LLC for a Final Subdivision Plat for Terra Alta Section 2 Part 1 for 65 single-family lots on approximately 18.885 acres zoned A-1 PMU (Agricultural District with a Planned Mixed-Use Overlay District) and located on Firenze Road and Talla Road North and South, with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department. In addition, County Engineer's approval would be required for roadway and storm water issues that are located within their jurisdiction.
2. All the streets shall achieve compliance with the minimum radii requirements or per the City Engineer.
3. All public utilities shall be extended to stub to the adjacent property lines and appropriate sections within the development.
4. The developer shall be responsible for any improvements and/or financial obligations of the traffic impact study per the City Engineer and/or County Engineer.
5. A \$1,000 per dwelling unit transportation contribution fee shall be collected with each building permit for needed area transportation improvements.
6. Terra Alta Drive shall be connected to its intersection with Berlin Station Road no later than the 166<sup>th</sup> building permit which is the next approved section (Section 1 and 2 equal 165 single family lots).

7. An agreement between the developer and the City shall be executed to allow the adjacent properties to access the regional lift station per the City Engineer requirements.
8. Sidewalks shall be provided on both sides of all public streets.
9. In Section 1 the existing sidewalk that extends west to Pollack Road and ultimately to the river parkland shall be redesigned per the City Engineer.
10. The proposed Parks and Open Space Plan amenities shall be constructed with subject section it is located in or before.
11. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
12. The single-family houses shall comply with the minimum architectural standards in the approved development text and per applicable sections of the current zoning code.
13. All landscape plans shall be submitted, reviewed and approved by the Shade Tree Commission.
14. The 24.562-acre open space along the Olentangy River (just west of Terra Alta Drive on Pollock Road) shall be dedicated to the City prior to any building permit approval in Section 2.
15. For each single-family house, a \$500 fee shall be paid for each single-family lot at time of building permit issuance to achieve compliance with the approved development text to achieve compliance with Chapter 1168 Tree Preservation Regulations.
16. The developer shall plant 2 replacement trees for each single-family house (in addition to the required plantings).
17. The street lighting plan shall be submitted, reviewed and approved by the City that achieves compliance with all zoning requirements prior to construction drawing approval.
18. The developer shall plant 2 replacement trees for each single-family house (in addition to the required plantings).
19. Conservation easements shall be provided on any existing streams in this section.
20. The emergency access to Section 2 shall be approved by the City Engineer and Fire Department.

---

**STAFF RECOMMENDATION – (2020-1305 FINAL DEVELOPMENT PLAN)**

Staff recommends approval of request by Terra Alta LLC for a Final Development Plan for Terra Alta Section 2 Part 2 for 27 single-family lots on approximately 7.634 acres zoned A-1 PMU (Agricultural District with a Planned Mixed-Use Overlay District) and located on Lucca Road and Talla Road North, with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department. In addition, County Engineer's approval would be required for roadway and storm water issues that are located within their jurisdiction.
2. All the streets shall achieve compliance with the minimum radii requirements or per the City Engineer.
3. All public utilities shall be extended to stub to the adjacent property lines and appropriate sections within the development.
4. The developer shall be responsible for any improvements and/or financial obligations of the traffic impact study per the City Engineer and/or County Engineer.
5. A \$1,000 per dwelling unit transportation contribution fee shall be collected with each building permit for needed area transportation improvements.
6. Terra Alta Drive shall be connected to its intersection with Berlin Station Road no later than the 166<sup>th</sup> building permit which is the next approved section (Section 1 and 2 equal 165 single family lots).

7. An agreement between the developer and the City shall be executed to allow the adjacent properties to access the regional lift station per the City Engineer requirements.
8. Sidewalks shall be provided on both sides of all public streets.
9. In Section 1 the existing sidewalk that extends west to Pollack Road and ultimately to the river parkland shall be redesigned per the City Engineer.
10. The proposed Parks and Open Space Plan amenities shall be constructed with subject section it is located in or before.
11. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
12. The single-family houses shall comply with the minimum architectural standards in the approved development text and per applicable sections of the current zoning code.
13. All landscape plans shall be submitted, reviewed and approved by the Shade Tree Commission.
14. The 24.562-acre open space along the Olentangy River (just west of Terra Alta Drive on Pollock Road) shall be dedicated to the City prior to any building permit approval in Section 2.
15. For each single-family house, a \$500 fee shall be paid for each single-family lot at time of building permit issuance to achieve compliance with the approved development text to achieve compliance with Chapter 1168 Tree Preservation Regulations.
16. The developer shall plant 2 replacement trees for each single-family house (in addition to the required plantings).
17. The street lighting plan shall be submitted, reviewed and approved by the City that achieves compliance with all zoning requirements prior to construction drawing approval.
18. Conservation easements shall be provided on any existing streams in this section.
19. The emergency access to Section 2 shall be approved by the City Engineer and Fire Department.

---

**STAFF RECOMMENDATION – (2020-1306 FINAL SUBDIVISION PLAT)**

Staff recommends approval of request by Terra Alta LLC for a Final Subdivision Plat for Terra Alta Section 2 Part 2 for 27 single-family lots on approximately 7.634 acres zoned A-1 PMU (Agricultural District with a Planned Mixed-Use Overlay District) and located on Lucca Road and Talla Road North, with the following conditions that:

1. The Applicant needs to obtain final engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department. In addition, County Engineer's approval would be required for roadway and storm water issues that are located within their jurisdiction.
2. All the streets shall achieve compliance with the minimum radii requirements or per the City Engineer.
3. All public utilities shall be extended to stub to the adjacent property lines and appropriate sections within the development.
4. The developer shall be responsible for any improvements and/or financial obligations of the traffic impact study per the City Engineer and/or County Engineer.
5. A \$1,000 per dwelling unit transportation contribution fee shall be collected with each building permit for needed area transportation improvements.
6. Terra Alta Drive shall be connected to its intersection with Berlin Station Road no later than the 166<sup>th</sup> building permit which is the next approved section (Section 1 and 2 equal 165 single family lots).
7. An agreement between the developer and the City shall be executed to allow the adjacent properties to access the regional lift station per the City Engineer requirements.
8. Sidewalks shall be provided on both sides of all public streets.

9. In Section 1 the existing sidewalk that extends west to Pollack Road and ultimately to the river parkland shall be redesigned per the City Engineer.
10. The proposed Parks and Open Space Plan amenities shall be constructed with subject section it is located in or before.
11. The lots and houses shall comply with the minimum bulk and setback requirements in the approved development text.
12. The single-family houses shall comply with the minimum architectural standards in the approved development text and per applicable sections of the current zoning code.
13. All landscape plans shall be submitted, reviewed and approved by the Shade Tree Commission.
14. The 24.562-acre open space along the Olentangy River (just west of Terra Alta Drive on Pollock Road) shall be dedicated to the City prior to any building permit approval in Section 2.
15. For each single-family house, a \$500 fee shall be paid for each single-family lot at time of building permit issuance to achieve compliance with the approved development text to achieve compliance with Chapter 1168 Tree Preservation Regulations.
16. The developer shall plant 2 replacement trees for each single-family house (in addition to the required plantings).
17. The street lighting plan shall be submitted, reviewed and approved by the City that achieves compliance with all zoning requirements prior to construction drawing approval.
18. Conservation easements shall be provided on any existing streams in this section.
19. The emergency access to Section 2 shall be approved by the City Engineer and Fire Department.

**COMMISSION NOTES:**

---

---

---

---

---

---

---

---

---

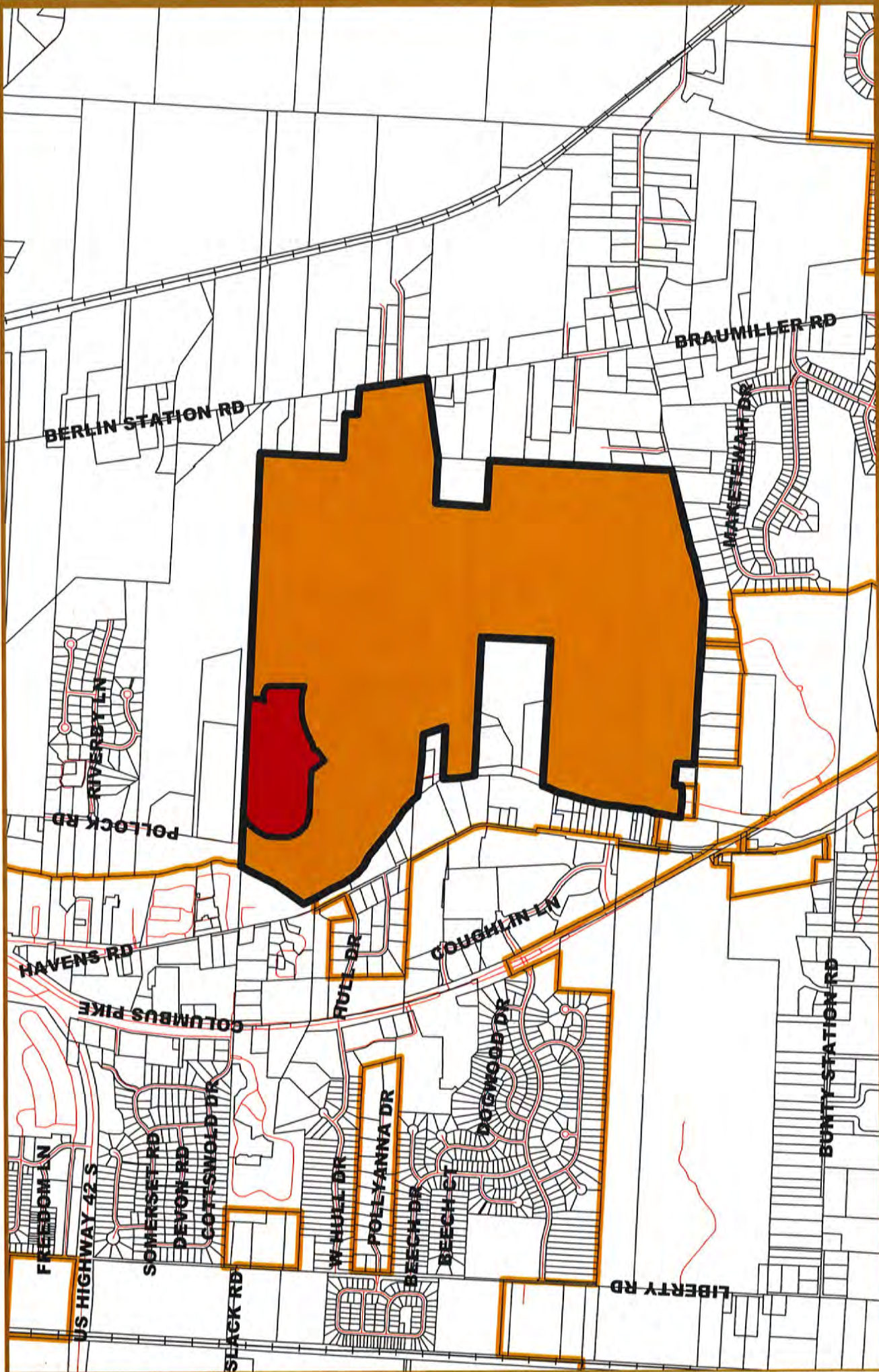
---

*MOTION:*      \_\_\_\_\_ *1<sup>st</sup>*      \_\_\_\_\_ *2<sup>nd</sup>*      *approved*      *denied*      *tabled* \_\_\_\_\_

*CONDITIONS/MISCELLANEOUS:*

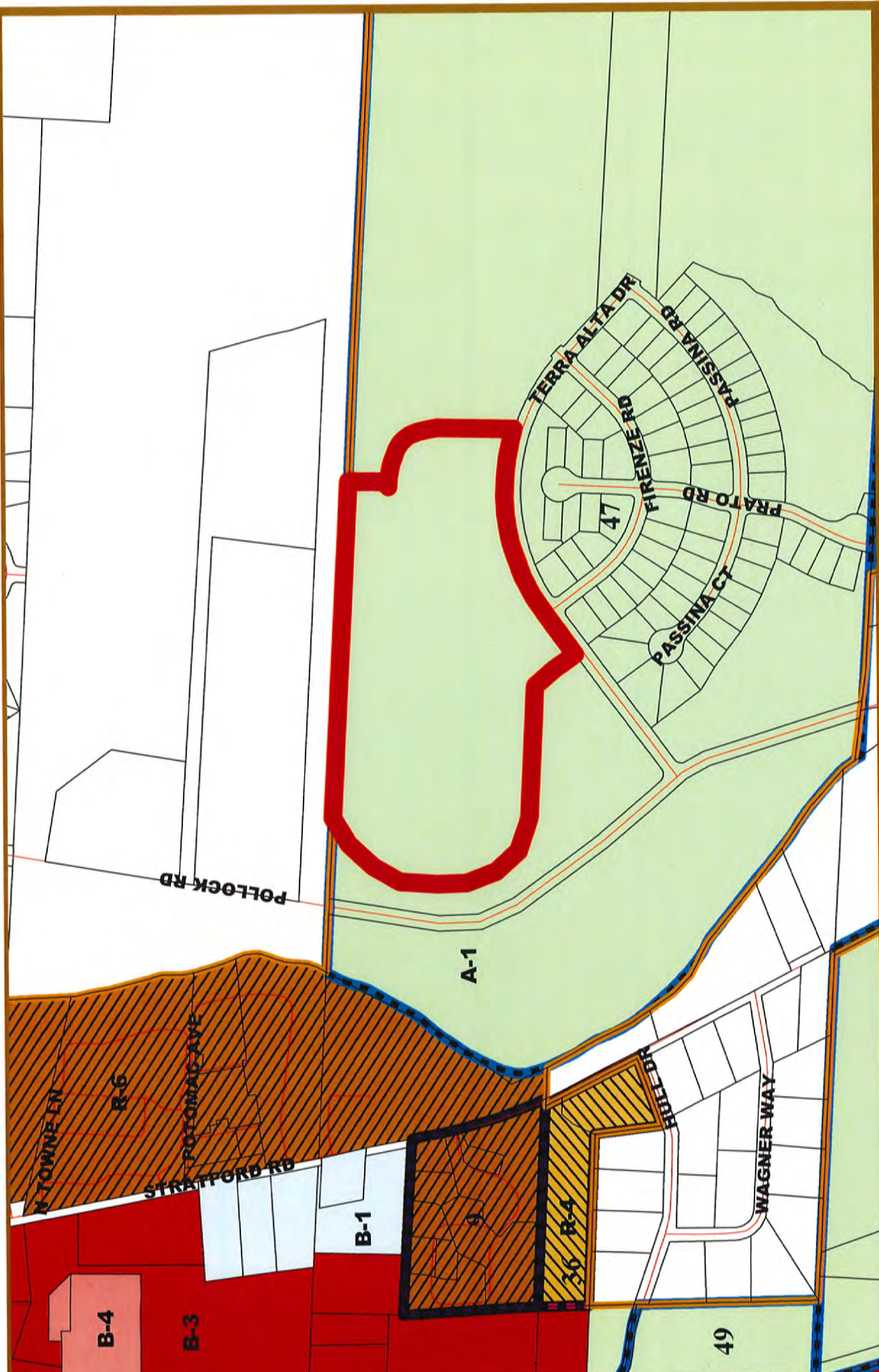
---

---



2020-1303-1306  
 Final Development Plan and Final Subdivision Plat  
 Terra Alta - Section 2 Part 1 and 2  
 Location Map





2020-1303-1306  
 Final Development Plan and Final Subdivision Plat  
 Terra Alta - Section 2 Part 1 and 2  
 Zoning Map







2020-1303-1306  
Final Development Plan and Final Subdivision Plat  
Terra Alta - Section 2 Part 1 and 2  
Aerial (2016) Map





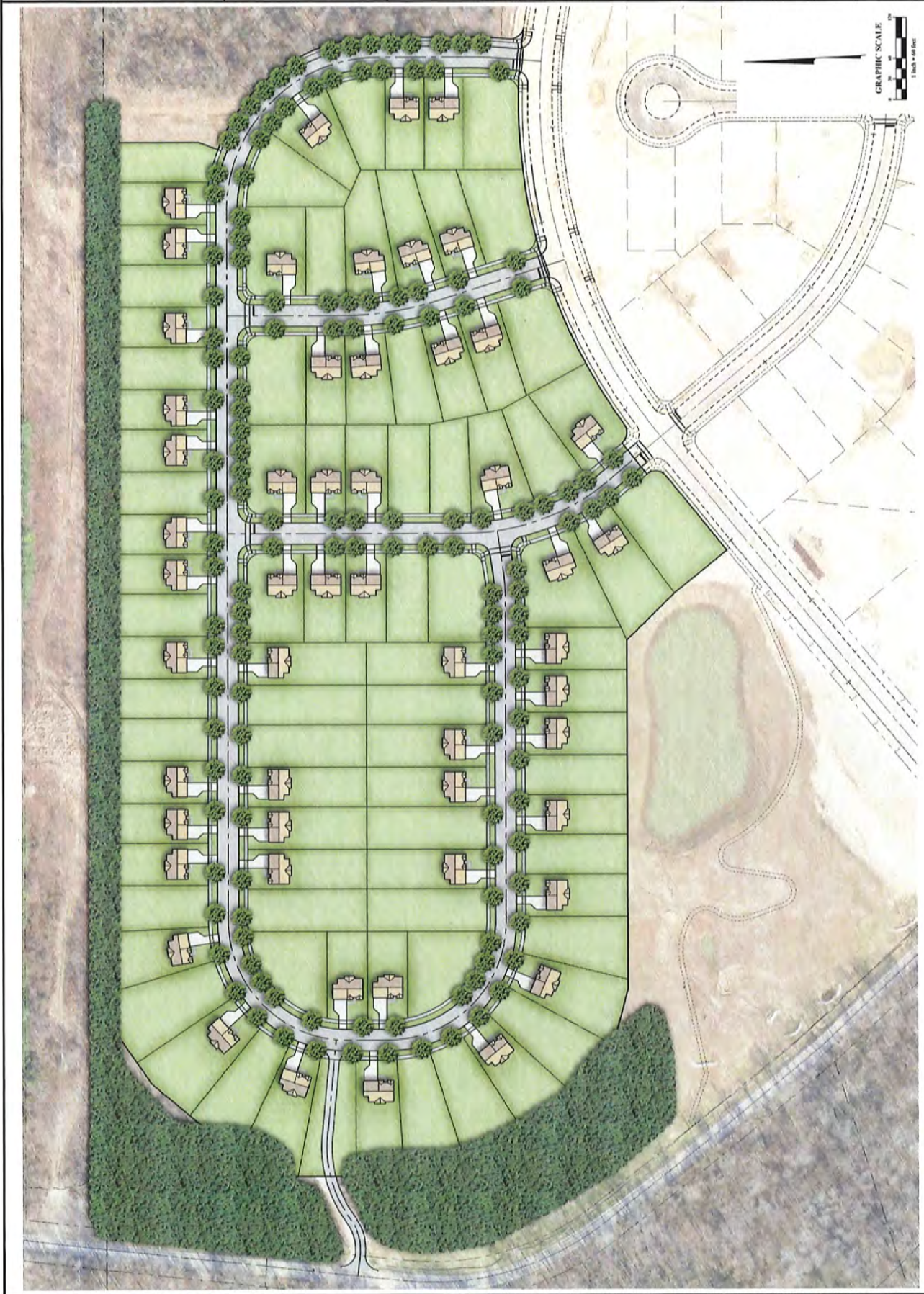
NO.	DATE	DESCRIPTION

**TERRA ALTA LLC.**  
 12 WEST SCHOOK ROAD  
 WESTFIELD, OH 44091-2042

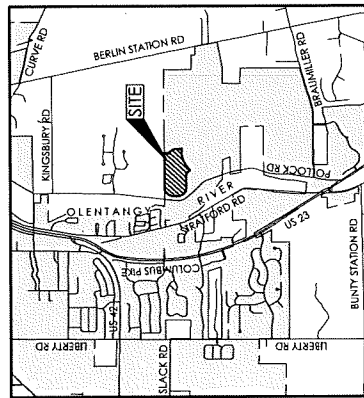
**TERRA ALTA SECTION 2**  
 PARTS 1 & 2  
 FINAL DEVELOPMENT PLAN  
 CITY OF DEWANEY, DEWANEY COUNTY, OHIO

**EMHT**  
 ENGINEERING  
 10000 W. STATE ST. SUITE 200  
 CLEVELAND, OH 44122-3400  
 TEL: 216.771.1100  
 FAX: 216.771.1101  
 WWW.EMHT.COM

DATE: July 1, 2020  
 SHEET: 1 of 44P  
 SHEET NO.: 2000007  
 PROJECT: 15/15



# TERRA ALTA SECTION 2 PARTS 1 & 2



LOCATION MAP  
NOT SCALE

PREPARED FOR:  
**TERRA ALTA LLC.**  
148 WEST SCHROCK ROAD  
WESTERVILLE, OH 43081  
(614) 891-2042

## INDEX OF DRAWINGS

FINAL PLANS:	SHEET 1-2
SECTION 2 PART 1:	SHEET 3-4
SECTION 2 PART 2:	SHEET 5
SITE PLAN:	SHEET 6
LIGHTING PLAN:	SHEET 7
IRrigation PLAN:	SHEET 8
LANDSCAPE AND REMOVAL PLAN:	SHEET 9-13
STREET TREE PLAN:	SHEET 14
ILLUSTRATIVE SITE PLAN:	SHEET 15

SUBMITTAL: JULY 1, 2020

CIVIL ENGINEER

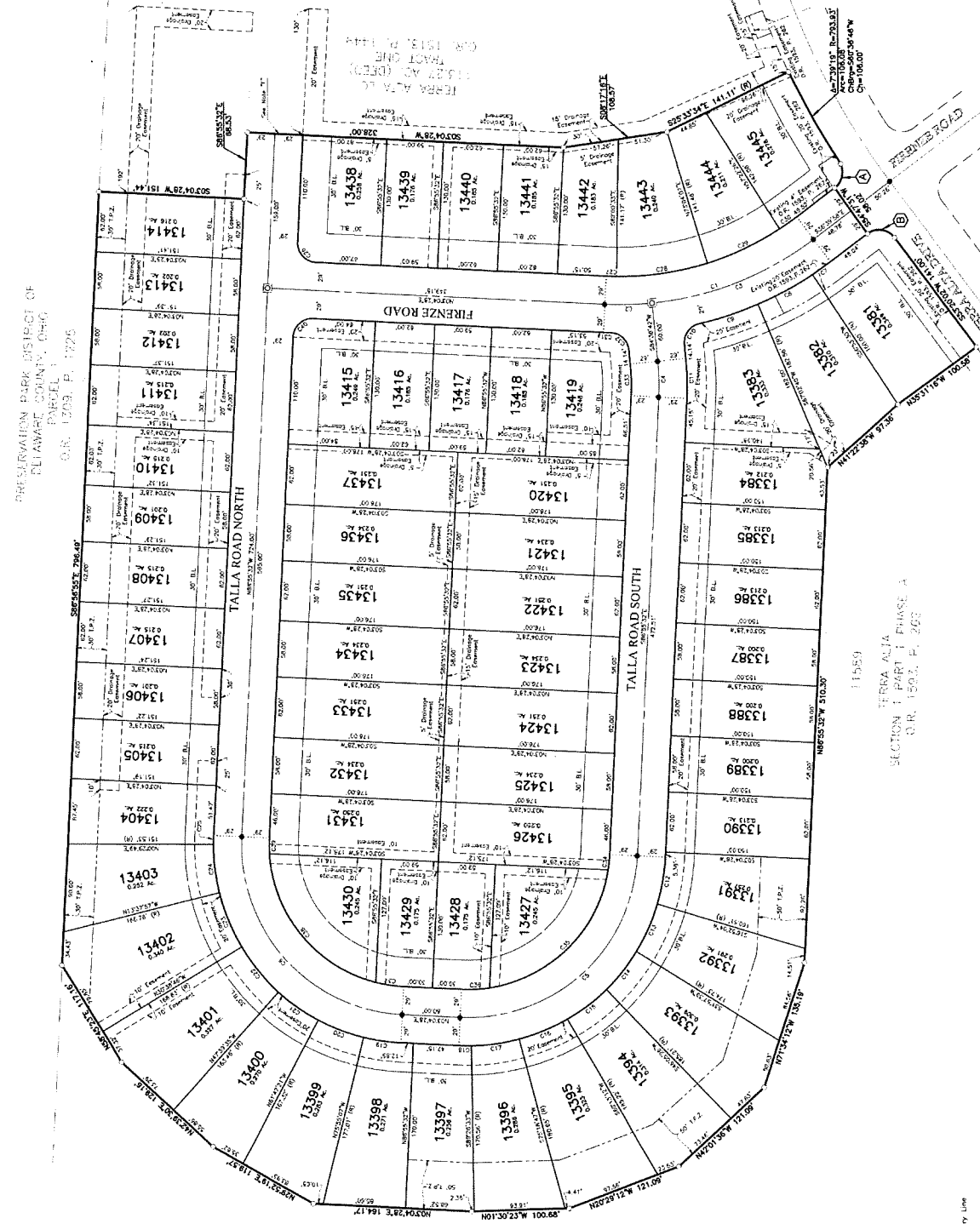
**EMHRT**  
Everts, MacIver, Henselton & Tibbo, Inc.  
Civil Engineers  
530 New Albany Road, Columbus, OH 43054  
Phone: 614.775.4000    Toll Free: 888.775.3448  
emhrt.com



# TERRA ALTA SECTION 2 PART 1

PRESERVATION PARK DISTRICT OF  
DELAWARE COUNTY, OHIO  
PROJECT  
O.R. 1709, P. 1725

SECTION	AREA	PERCENT	ACRES	CHUBB	CHUBB	CHUBB	CHUBB
C1	294.07	33.00	0.75	147,547.50	22,337		
C2	294.07	33.00	0.75	147,547.50	22,337		
C3	311.60	35.00	0.80	161,200.00	24,180		
C4	311.60	35.00	0.80	161,200.00	24,180		
C5	311.60	35.00	0.80	161,200.00	24,180		
C6	311.60	35.00	0.80	161,200.00	24,180		
C7	311.60	35.00	0.80	161,200.00	24,180		
C8	311.60	35.00	0.80	161,200.00	24,180		
C9	311.60	35.00	0.80	161,200.00	24,180		
C10	311.60	35.00	0.80	161,200.00	24,180		
C11	311.60	35.00	0.80	161,200.00	24,180		
C12	311.60	35.00	0.80	161,200.00	24,180		
C13	311.60	35.00	0.80	161,200.00	24,180		
C14	311.60	35.00	0.80	161,200.00	24,180		
C15	311.60	35.00	0.80	161,200.00	24,180		
C16	311.60	35.00	0.80	161,200.00	24,180		
C17	311.60	35.00	0.80	161,200.00	24,180		
C18	311.60	35.00	0.80	161,200.00	24,180		
C19	311.60	35.00	0.80	161,200.00	24,180		
C20	311.60	35.00	0.80	161,200.00	24,180		
C21	311.60	35.00	0.80	161,200.00	24,180		
C22	311.60	35.00	0.80	161,200.00	24,180		
C23	311.60	35.00	0.80	161,200.00	24,180		
C24	311.60	35.00	0.80	161,200.00	24,180		
C25	311.60	35.00	0.80	161,200.00	24,180		
C26	311.60	35.00	0.80	161,200.00	24,180		
C27	311.60	35.00	0.80	161,200.00	24,180		
C28	311.60	35.00	0.80	161,200.00	24,180		
C29	311.60	35.00	0.80	161,200.00	24,180		
C30	311.60	35.00	0.80	161,200.00	24,180		
C31	311.60	35.00	0.80	161,200.00	24,180		
C32	311.60	35.00	0.80	161,200.00	24,180		
C33	311.60	35.00	0.80	161,200.00	24,180		
C34	311.60	35.00	0.80	161,200.00	24,180		
C35	311.60	35.00	0.80	161,200.00	24,180		
C36	311.60	35.00	0.80	161,200.00	24,180		
C37	311.60	35.00	0.80	161,200.00	24,180		
C38	311.60	35.00	0.80	161,200.00	24,180		
C39	311.60	35.00	0.80	161,200.00	24,180		
C40	311.60	35.00	0.80	161,200.00	24,180		



- Line Type Legend
- Existing Property Line
  - Existing R/W Line
  - Existing E/W Centerline
  - Existing Easement Line
  - Proposed Subdivision Boundary Line
  - Proposed Lot Line
  - Proposed R/W Line
  - Proposed R/W Centerline
  - Proposed Easement Line

Scale: 1" = 40'

North Arrow

DATE: 03/28/17

PROJECT: TERRA ALTA SECTION 2 PART 1

**NOTE "A":** Notice is hereby given to any holder of the lots defined on this plan that the lots shown on this plan are for the development of said lots showing proposed lot drainage, proposed ground elevation at house and/or lot corners, and proposed subdivision and final plat plan subdivision and are to be incorporated into the final plat plan required under the building program.

**NOTE "B":** THE PRESERVATION ZONE. Within the area designated herein that contain existing trees, no work shall be performed or activities shall be conducted that may result in the removal or damage to trees of any size or species that are located on the lots shown on this plan. The removal or damage to trees of any size or species shall be prohibited unless the applicant has obtained a permit from the Delaware County Planning Commission. The permit shall be obtained from the Delaware County Planning Commission, 1100 Delaware County Courthouse, Delaware, Ohio 43015. The permit shall be obtained from the Delaware County Planning Commission, 1100 Delaware County Courthouse, Delaware, Ohio 43015.

**NOTE "C":** At the time of platting, all of the lots shown on this plan shall be subject to the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709.

**NOTE "D":** This section of Terra Alta Subdivision is subject to the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709.

**NOTE "E":** This section of Terra Alta Subdivision is subject to the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709.

**NOTE "F":** This section of Terra Alta Subdivision is subject to the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709.

**NOTE "G":** This section of Terra Alta Subdivision is subject to the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709.

**NOTE "H":** This section of Terra Alta Subdivision is subject to the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709.

**NOTE "I":** This section of Terra Alta Subdivision is subject to the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709.

**NOTE "J":** This section of Terra Alta Subdivision is subject to the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709.

**NOTE "K":** This section of Terra Alta Subdivision is subject to the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709.

**NOTE "L":** This section of Terra Alta Subdivision is subject to the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709.

**NOTE "M":** This section of Terra Alta Subdivision is subject to the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709.

**NOTE "N":** This section of Terra Alta Subdivision is subject to the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709.

**NOTE "O":** This section of Terra Alta Subdivision is subject to the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709.

**NOTE "P":** This section of Terra Alta Subdivision is subject to the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709.

**NOTE "Q":** This section of Terra Alta Subdivision is subject to the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709.

**NOTE "R":** This section of Terra Alta Subdivision is subject to the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709.

**NOTE "S":** This section of Terra Alta Subdivision is subject to the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709.

**NOTE "T":** This section of Terra Alta Subdivision is subject to the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709.

**NOTE "U":** This section of Terra Alta Subdivision is subject to the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709.

**NOTE "V":** This section of Terra Alta Subdivision is subject to the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709.

**NOTE "W":** This section of Terra Alta Subdivision is subject to the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709.

**NOTE "X":** This section of Terra Alta Subdivision is subject to the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709.

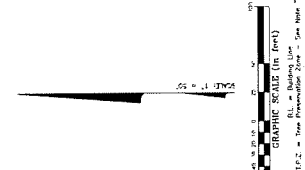
**NOTE "Y":** This section of Terra Alta Subdivision is subject to the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709.

**NOTE "Z":** This section of Terra Alta Subdivision is subject to the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709, and the provisions of the Ohio Revised Code, Chapter 1709.



# TERRA ALTA SECTION 2 PART 2

PRESERVATION OF PARK DISTRICT  
OF DELAWARE COUNTY, OHIO  
O.R. 1,009, P. 1722



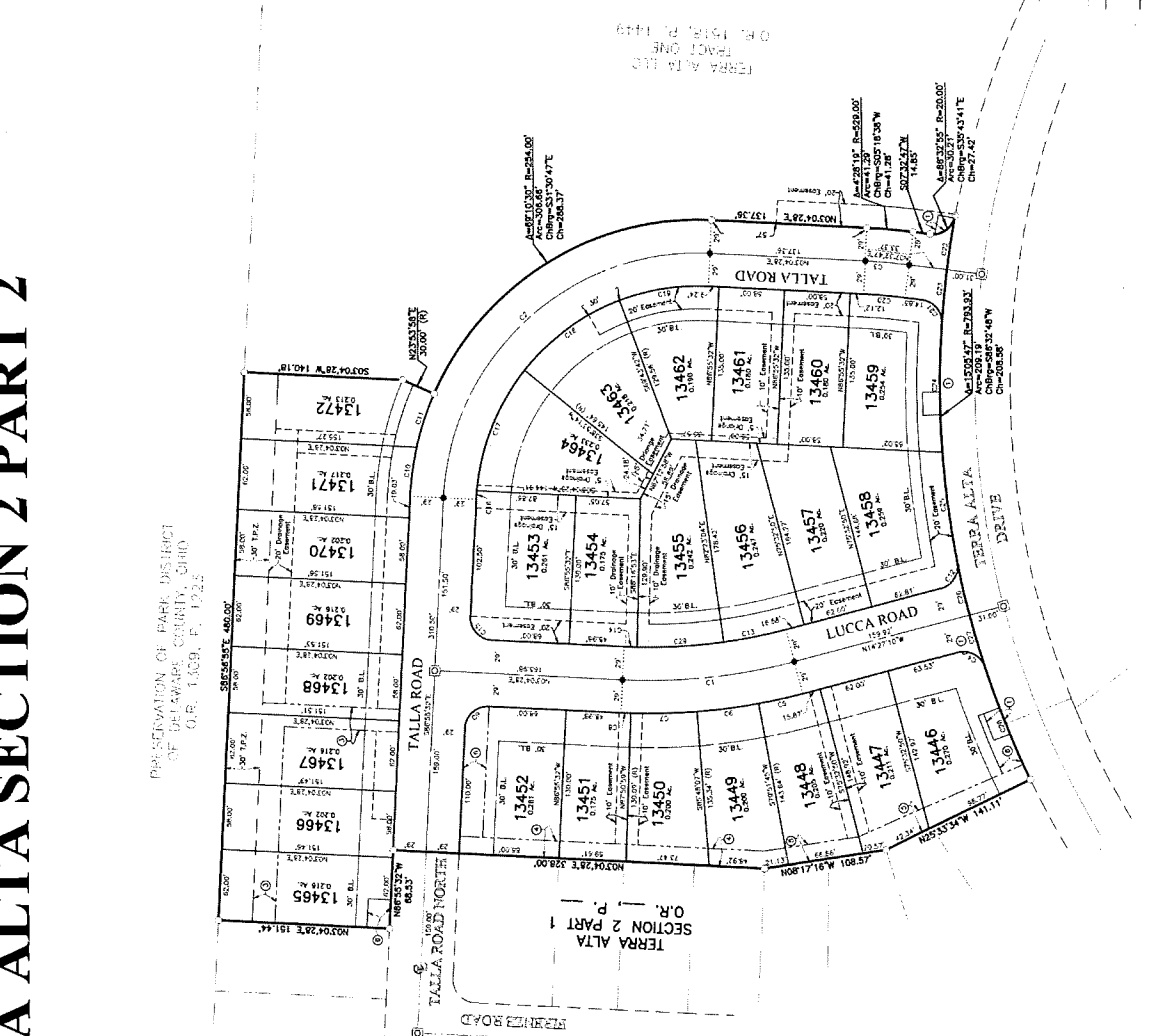
NO.	DELTA	BEARING	PLANNING	ADJUSTED
C1	1732.748'	N00°00'00" E	13472	132.36'
C2	1070.000'	S00°00'00" W	13471	132.36'
C3	426.115'	N00°00'00" E	13470	132.36'
C4	1070.000'	S00°00'00" W	13469	132.36'
C5	426.115'	N00°00'00" E	13468	132.36'
C6	1070.000'	S00°00'00" W	13467	132.36'
C7	426.115'	N00°00'00" E	13466	132.36'
C8	1070.000'	S00°00'00" W	13465	132.36'
C9	1070.000'	S00°00'00" W	13464	132.36'
C10	1070.000'	S00°00'00" W	13463	132.36'
C11	1070.000'	S00°00'00" W	13462	132.36'
C12	1070.000'	S00°00'00" W	13461	132.36'
C13	1070.000'	S00°00'00" W	13460	132.36'
C14	1070.000'	S00°00'00" W	13459	132.36'
C15	1070.000'	S00°00'00" W	13458	132.36'
C16	1070.000'	S00°00'00" W	13457	132.36'
C17	1070.000'	S00°00'00" W	13456	132.36'
C18	1070.000'	S00°00'00" W	13455	132.36'
C19	1070.000'	S00°00'00" W	13454	132.36'
C20	1070.000'	S00°00'00" W	13453	132.36'
C21	1070.000'	S00°00'00" W	13452	132.36'
C22	1070.000'	S00°00'00" W	13451	132.36'
C23	1070.000'	S00°00'00" W	13450	132.36'
C24	1070.000'	S00°00'00" W	13449	132.36'
C25	1070.000'	S00°00'00" W	13448	132.36'
C26	1070.000'	S00°00'00" W	13447	132.36'
C27	1070.000'	S00°00'00" W	13446	132.36'

**NOTE "X":** Notice is hereby given to any holder of the lots shown on this plat that the City of Delaware County, Ohio, is in possession of the lots shown on this plat for the purpose of developing a park district. The City of Delaware County, Ohio, is in possession of the lots shown on this plat for the purpose of developing a park district. The City of Delaware County, Ohio, is in possession of the lots shown on this plat for the purpose of developing a park district.

**NOTE "Y":** NOTICE OF ACRES BREAKDOWN: Total acreage remaining less: 1.774 Ac. Section 2 Part 2 out of the following Delaware County Parcel Numbers: 41011001001000 7.041 Ac.

**NOTE "Z":** At the time of filing, all of Terra Alta Section 2 Part 1 is within Zone X, unless determined to be outside of the Zone X by the Planning Commission. The Planning Commission may, at its discretion, determine that certain lots within the Zone X are not subject to the provisions of the Zone X. The Planning Commission may, at its discretion, determine that certain lots within the Zone X are not subject to the provisions of the Zone X.

**NOTE "AA":** At the time of filing, all of Terra Alta Section 2 Part 1 is within Zone X, unless determined to be outside of the Zone X by the Planning Commission. The Planning Commission may, at its discretion, determine that certain lots within the Zone X are not subject to the provisions of the Zone X. The Planning Commission may, at its discretion, determine that certain lots within the Zone X are not subject to the provisions of the Zone X.



**NOTE "BB":** This section of Terra Alta Subdivision is subject to an additional transportation fee of \$1,000 per acre for the cost of additional capacity for the South East Highland Sanitary Sewer additional capacity charge of \$1,200 per acre. For each additional family house, 2 additional lots and a \$100 fee shall be paid for each single-family lot with a charge of \$100 per acre for the cost of additional capacity.



REC'D  
STAMP  
OFFICE  
1/20/2020

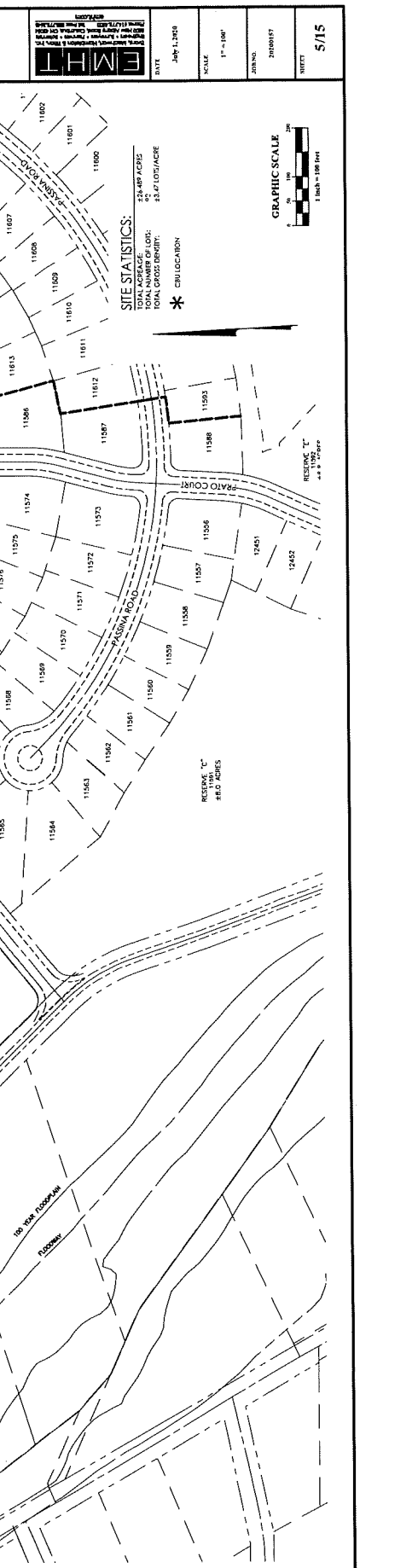
TERRA ALTA LLC.  
141 WEST HARBOR ROAD  
WESTFIELD, OH 44091  
TEL: 440.352.1144

CITY OF DELAWARE, DELAWARE COUNTY  
FINAL DEVELOPMENT PLAN  
FOR  
**TERRA ALTA SECTION 2  
PART 1 & 2**  
SITE PLAN

DATE	REVISIONS

EMHT  
ENGINEERING & ARCHITECTURE  
1111 BROADWAY, SUITE 300  
P.O. BOX 1111  
COLUMBUS, OHIO 43261-1111  
TEL: 614.254.1111  
WWW.EMHT.COM

DATE: Jan. 1, 2020  
SCALE: 1" = 100'  
JOB NO.: 1001  
SHEET NO.: 5/15



DATE	DESCRIPTION

**STANDARD DRAWINGS**  
 REVISED 12/31/18  
 (UNLESS NOTED)  
 ROWD-34.1  
 ROWD-34.2 (4/28/2018)  
 ROWD-34.3  
 ROWD-34.4

**ESTIMATE OF QUANTITIES**

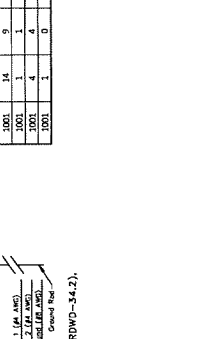
The Quantities Have Been Established As A Means For The City To Estimate The Necessary Development Fees. The Contractor Shall Be Solely Responsible For Determining The Required Bid Quantities Necessary For The Completion Of The Plan Improvements

ITEM	QUANTITY	UNIT	DESCRIPTION
1001	14	Each	Pole to be Wired (ROWD-34.2), As Per Plan
1001	14	Each	Residential Light Pole, Impact Dog, D48X14 (Replacement Stock)
1001	14	Each	Light Pole Foundation (ROWD-34.4)
1001	1450	CTWT	Conduit Cable, Two No. 4 AWG 600VOLT Distribution Cables and One No. 8 AWG 600VOLT Equipment Ground (ROWD-34.2)
1001	14	Each	Conduit, 1.317, 75X.051 (Directionally Rigid Under Street) (ROWD-34.2)
1001	14	Each	Luminaire (ROWD-34.1), Luminaire Only (Replacement Stock)
1001	4	Each	Pull Box (ROWD-34.3)
1001	1	Each	120/240V Ground Mounted Control Center and Power Service (ROWD-34.2-34.3), As Per Plan

Street lights must be fully functional and up-bulbs drawings (no building permits). The extra light fixture and poles shall be public utility prior to completion of public improvements (i.e. Form Street Improvement, Ohio 43015, Contact the City to schedule delivery date and time 740-203-810.

For clarity, not all proposed and underground utilities are shown. Please check with the utility companies for the location of all proposed and underground utilities.

Profile Sheets for location of all proposed and underground utilities.



ITEM 1001 POLE TO BE WIRED (ROWD-34.2), AS PER PLAN  
 SCALE=NONE

**NOTES:**

- Street lights must be fully functional and up-bulbs drawings (no building permits). The extra light fixture and poles shall be public utility prior to completion of public improvements (i.e. Form Street Improvement, Ohio 43015, Contact the City to schedule delivery date and time 740-203-810.
- For clarity, not all proposed and underground utilities are shown. Please check with the utility companies for the location of all proposed and underground utilities.
- Profile Sheets for location of all proposed and underground utilities.
1. The 750.04 conduit and has been generally indicated at all locations where it is required. The 750.04 conduit shall be installed in a trench 12 inches deep and the trench shall be backfilled with concrete. The trench shall be backfilled with concrete to a depth of 12 inches. The trench shall be backfilled with concrete to a depth of 12 inches.
2. The 750.04 conduit shall be installed in a trench 12 inches deep and the trench shall be backfilled with concrete. The trench shall be backfilled with concrete to a depth of 12 inches. The trench shall be backfilled with concrete to a depth of 12 inches.
3. The trench shall be backfilled with concrete to a depth of 12 inches. The trench shall be backfilled with concrete to a depth of 12 inches. The trench shall be backfilled with concrete to a depth of 12 inches.
4. The trench shall be backfilled with concrete to a depth of 12 inches. The trench shall be backfilled with concrete to a depth of 12 inches. The trench shall be backfilled with concrete to a depth of 12 inches.
5. The trench shall be backfilled with concrete to a depth of 12 inches. The trench shall be backfilled with concrete to a depth of 12 inches. The trench shall be backfilled with concrete to a depth of 12 inches.
6. The trench shall be backfilled with concrete to a depth of 12 inches. The trench shall be backfilled with concrete to a depth of 12 inches. The trench shall be backfilled with concrete to a depth of 12 inches.
7. The trench shall be backfilled with concrete to a depth of 12 inches. The trench shall be backfilled with concrete to a depth of 12 inches. The trench shall be backfilled with concrete to a depth of 12 inches.
8. The trench shall be backfilled with concrete to a depth of 12 inches. The trench shall be backfilled with concrete to a depth of 12 inches. The trench shall be backfilled with concrete to a depth of 12 inches.
9. The trench shall be backfilled with concrete to a depth of 12 inches. The trench shall be backfilled with concrete to a depth of 12 inches. The trench shall be backfilled with concrete to a depth of 12 inches.
10. The trench shall be backfilled with concrete to a depth of 12 inches. The trench shall be backfilled with concrete to a depth of 12 inches. The trench shall be backfilled with concrete to a depth of 12 inches.

**LEGEND**

1001 Pole to be wired (ROWD-34.2), As Per Plan

1001 Residential Light Pole, Impact Dog, D48X14 (Replacement Stock)

1001 Light Pole Foundation (ROWD-34.4)

1001 Conduit Cable, Two No. 4 AWG 600VOLT Distribution Cables and One No. 8 AWG 600VOLT Equipment Ground (ROWD-34.2)

1001 Conduit, 1.317, 75X.051 (Directionally Rigid Under Street) (ROWD-34.2)

1001 Luminaire (ROWD-34.1), Luminaire Only (Replacement Stock)

1001 Pull Box (ROWD-34.3)

1001 120/240V Ground Mounted Control Center and Power Service (ROWD-34.2-34.3), As Per Plan

**CONTRACTOR'S OBLIGATIONS:**

- The contractor shall be responsible for obtaining all necessary permits for the installation of the lighting system.
- The contractor shall be responsible for coordinating with the utility companies for the location of all proposed and underground utilities.
- The contractor shall be responsible for ensuring that all materials and workmanship are in accordance with the specifications and standards of the City of Delaware.
- The contractor shall be responsible for ensuring that all safety measures are followed during the installation process.
- The contractor shall be responsible for ensuring that all electrical work is done in accordance with the National Electrical Code (NEC) and all applicable local codes and regulations.
- The contractor shall be responsible for ensuring that all electrical work is done in a safe and sound manner.
- The contractor shall be responsible for ensuring that all electrical work is done in a timely and efficient manner.
- The contractor shall be responsible for ensuring that all electrical work is done in a professional and courteous manner.
- The contractor shall be responsible for ensuring that all electrical work is done in a clean and neat manner.
- The contractor shall be responsible for ensuring that all electrical work is done in a manner that meets the needs and expectations of the City of Delaware.

**TERMS AND CONDITIONS:**

- The City of Delaware shall own all rights in and to the lighting system.
- The contractor shall be responsible for obtaining all necessary permits for the installation of the lighting system.
- The contractor shall be responsible for coordinating with the utility companies for the location of all proposed and underground utilities.
- The contractor shall be responsible for ensuring that all materials and workmanship are in accordance with the specifications and standards of the City of Delaware.
- The contractor shall be responsible for ensuring that all safety measures are followed during the installation process.
- The contractor shall be responsible for ensuring that all electrical work is done in accordance with the National Electrical Code (NEC) and all applicable local codes and regulations.
- The contractor shall be responsible for ensuring that all electrical work is done in a safe and sound manner.
- The contractor shall be responsible for ensuring that all electrical work is done in a timely and efficient manner.
- The contractor shall be responsible for ensuring that all electrical work is done in a professional and courteous manner.
- The contractor shall be responsible for ensuring that all electrical work is done in a clean and neat manner.
- The contractor shall be responsible for ensuring that all electrical work is done in a manner that meets the needs and expectations of the City of Delaware.

**ADDITIONAL NOTES:**

- The City of Delaware shall own all rights in and to the lighting system.
- The contractor shall be responsible for obtaining all necessary permits for the installation of the lighting system.
- The contractor shall be responsible for coordinating with the utility companies for the location of all proposed and underground utilities.
- The contractor shall be responsible for ensuring that all materials and workmanship are in accordance with the specifications and standards of the City of Delaware.
- The contractor shall be responsible for ensuring that all safety measures are followed during the installation process.
- The contractor shall be responsible for ensuring that all electrical work is done in accordance with the National Electrical Code (NEC) and all applicable local codes and regulations.
- The contractor shall be responsible for ensuring that all electrical work is done in a safe and sound manner.
- The contractor shall be responsible for ensuring that all electrical work is done in a timely and efficient manner.
- The contractor shall be responsible for ensuring that all electrical work is done in a professional and courteous manner.
- The contractor shall be responsible for ensuring that all electrical work is done in a clean and neat manner.
- The contractor shall be responsible for ensuring that all electrical work is done in a manner that meets the needs and expectations of the City of Delaware.

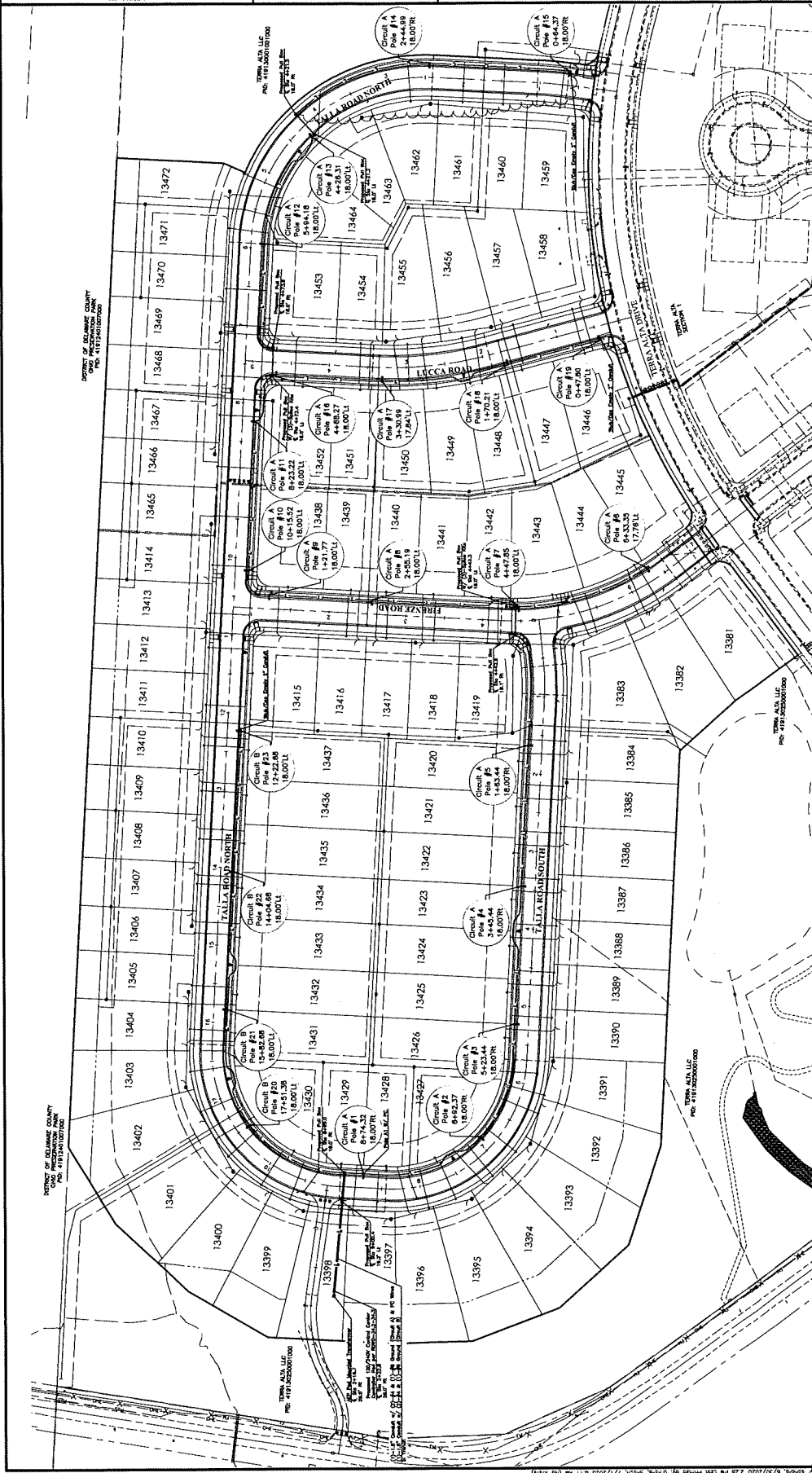
DATE	10/1/2020
SCALE	1" = 40'
PROJECT	TERRA ALTA LLC
REVISIONS	

TERRA ALTA LLC  
 148 WEST SCHROEDER ROAD  
 WESTFIELD, OH 45391-1841

CITY OF DELAWARE, DELAWARE COUNTY  
 FINAL DEVELOPMENT PLAN  
**TERRA ALTA SECTION 2**  
 PARTS 1 & 2  
 LIGHTING PLAN



DATE	10/1/2020
SCALE	1" = 40'
PROJECT	TERRA ALTA LLC
REVISIONS	



**LEGEND**

- PROPOSED RESIDENTIAL LIGHT POLE (PC, 12-1)
- PROPOSED RESIDENTIAL FOUNDATION (RFD-3-1)
- PROPOSED 1.5" SCH 40 PVC CONDUIT (RWD-3-2)
- W/ (2)-#4 AWG & (1)-#6 AWG EQUIPMENT GROUND (RWD-3-2), EXCEPT WHERE NOTED
- PROPOSED 11" X 18" X 18" PULL BOX (RWD-3-3)
- PROPOSED 150/240V STREET LIGHTING CONTROLLER AND POWER SERVICE (RWD-3-42 AND RWD-3-43)
- PROPOSED PHOTO CONTROL (RWD-3-43)

**LEGEND**

- CIRCUIT #
- POLE #
- STATION
- OFFSET

**GRAPHIC SCALE**  
 1 Inch = 40 Feet

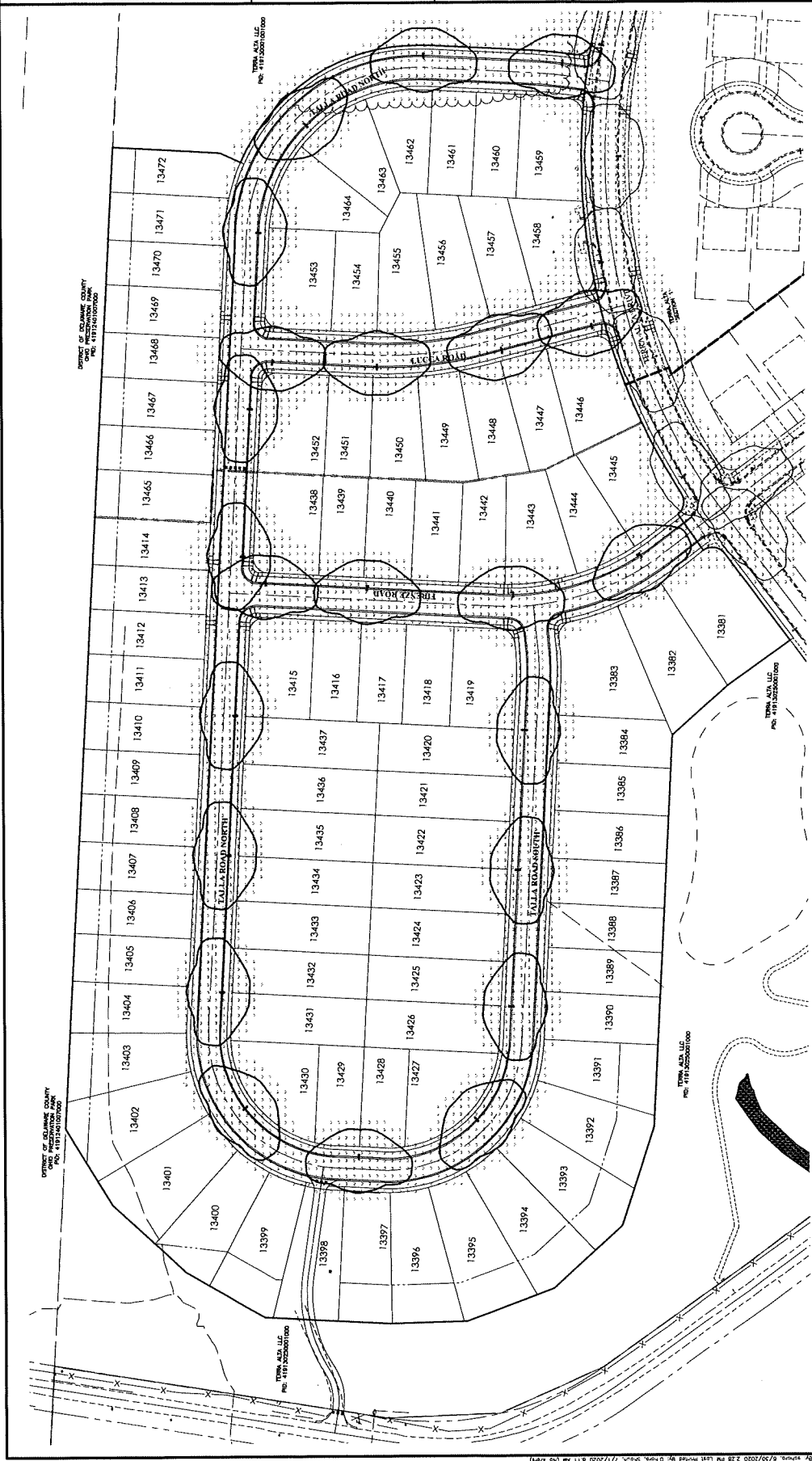


DATE: 24th 1-2018  
 SCALE: 1"=40'  
 SHEET: 20200517  
 SHEET: 8/15

CITY OF DELAWARE, DELAWARE COUNTY  
 FINAL DEVELOPMENT PLAN  
 TERRA ALTA SECTION 2  
 PARTS 1 & 2  
 LIGHTING PLAN

TERRA ALTA LLC  
 181 WEST SCHROEDER ROAD  
 WESTMINSTER, CO 80057

NO.	DATE	DESCRIPTION



LEGEND

- Proposed Luminaire Templates (0.1 Foot-Candle Influence)
- Existing Luminaire Templates (0.1 Foot-Candle Influence)

LUMINAIRE SCHEDULE

QTY	Catalog Number/Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Maintenance
23	GV03 P00 30W WOLV MS CMC GLJ RB ST TGL PRZE FPDTX SH Granville LED Classic Granville LED Performance Package 30, 3000 series CCT Adjustable, 120 (120/140/160/180)lm, 3000K, 100lm/W, Standard, Gold trim, 7 pin NEMA photocoupled external, Factor programmed to 75 percent of base, Shooting cap, Unique Solutions, A Division of Holoplane www.holoplane.com	LED COB	1	7937	0.75	57

STATISTICS

Description	Avg	Max	Min	Max/Min	Avg/Min
Talia Road North	0.5 fc	1.5 fc	0.1 fc	15.0:1	5.0:1
Talia Road South	0.5 fc	1.4 fc	0.1 fc	14.0:1	5.0:1
Flinn Road	0.5 fc	1.5 fc	0.1 fc	15.0:1	5.0:1
Lucco Road	0.5 fc	1.5 fc	0.1 fc	15.0:1	5.0:1
Site Sidewalks	0.2 fc	0.8 fc	0.1 fc	8.0:1	2.0:1



8/15

**NOTES:**

1) Based on the City of Oakwood Planning Commission recommendation, this tree survey is compiled based on a sample survey. 1144 (11.44%) of the trees are identified and circled in this Chapter establish the City's objectives and the level of preservation expected. However, in applying these standards, the Planning Commission will take into account the location, size, species, and condition of the trees, and the overall character and usability with respect to the placement and arrangement of proposed elements to assure that the objectives of the chapter and the proposed development are best satisfied.

2) The trees shown in Item 1 are in 8 areas. 1 - some are in the Sample Area 1 through 8 located throughout the site. 2 - some are in the Sample Area 1 through 8 located throughout the site. 3 - some are in the Sample Area 1 through 8 located throughout the site.

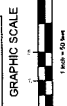
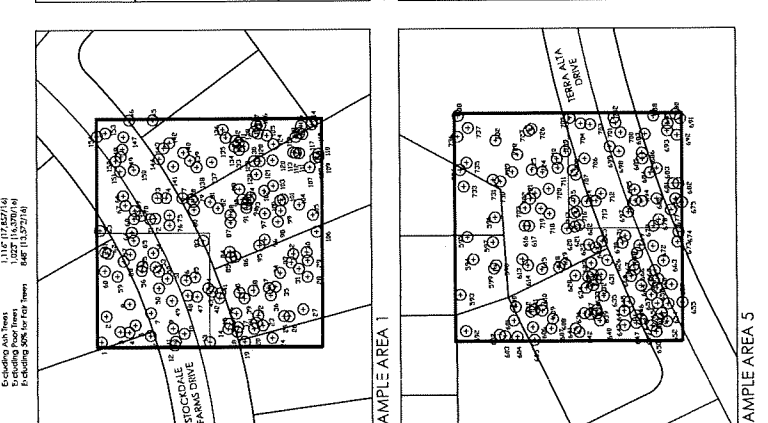
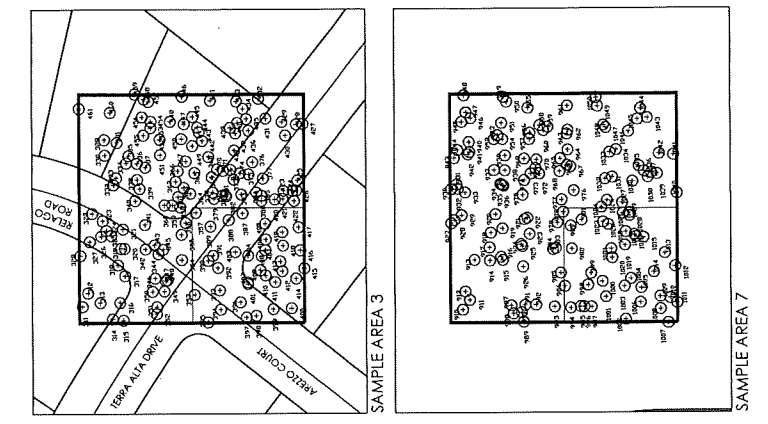
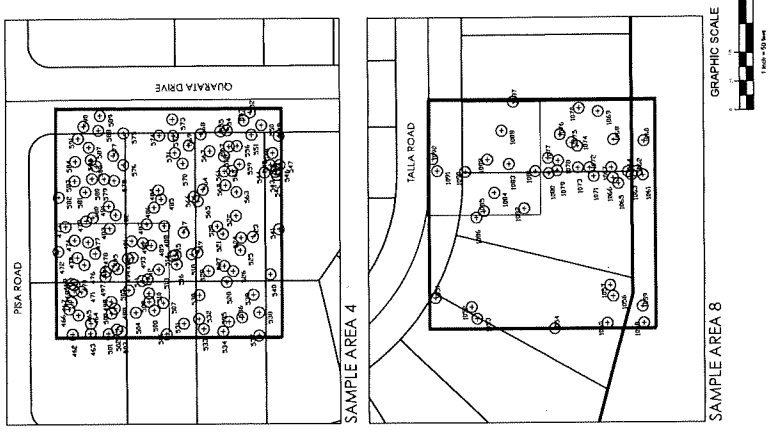
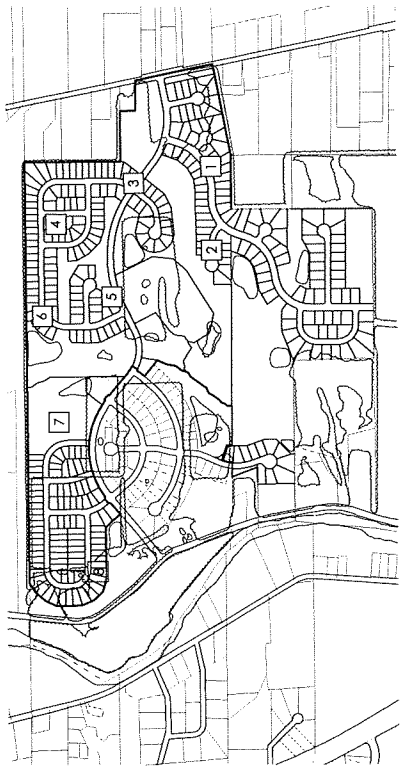
**ORIGINAL TERRA ALTA - SEE SHEETS 7 & 8 (SAMPLE AREAS 1 - 8)**

SAMPLE AREA	TOTAL INCHES (Circumference Original)	TOTAL INCHES (Including All Trees)	Excluding 50% For Sample Area
SAMPLE AREA-1	1,682	1,045	998
SAMPLE AREA-2	1,942	862	815
SAMPLE AREA-3	1,423	870	656
SAMPLE AREA-4	1,531	816	760
SAMPLE AREA-5	1,856	1,423	468
SAMPLE AREA-6	1,356	569	1,247
SAMPLE AREA-7	459	459	328
SAMPLE AREA-8	1,527	817	225
<b>TOTAL TREES</b>	<b>12,309</b>	<b>11,100</b>	<b>8,879</b>

POCKET TRACT: SEE SHEETS 7 & 8 (SAMPLE AREAS 1 TO 8)	TOTAL INCHES	Excluding 50% For Sample Area
SAMPLE AREA-1	(870)3"=1,006	(435)3"=1,487
SAMPLE AREA-2	(1,000)3"=1,590	(500)3"=1,185
SAMPLE AREA-3	(1,000)3"=1,590	(500)3"=1,185
SAMPLE AREA-4	(1,000)3"=1,590	(500)3"=1,185
SAMPLE AREA-5	(1,000)3"=1,590	(500)3"=1,185
SAMPLE AREA-6	(1,000)3"=1,590	(500)3"=1,185
SAMPLE AREA-7	(1,000)3"=1,590	(500)3"=1,185
SAMPLE AREA-8	(1,000)3"=1,590	(500)3"=1,185
<b>TOTAL TREES</b>	<b>12,309</b>	<b>11,100</b>

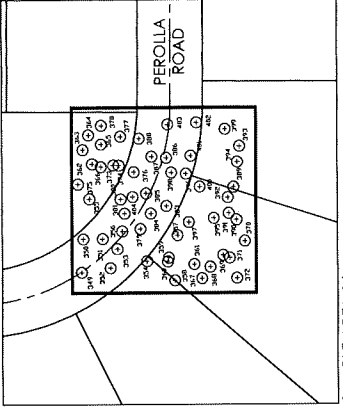
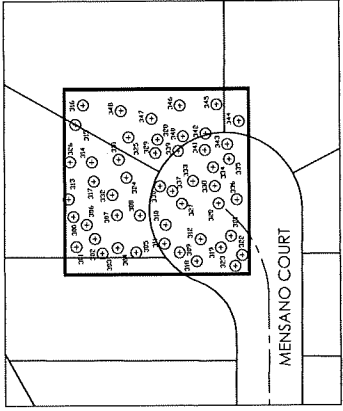
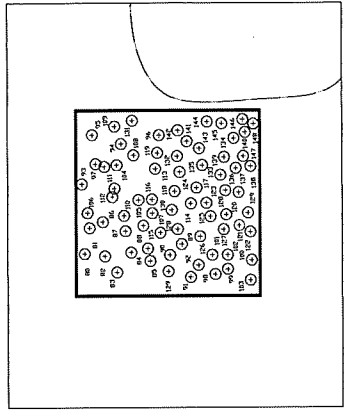
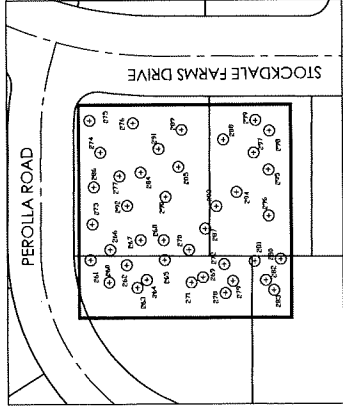
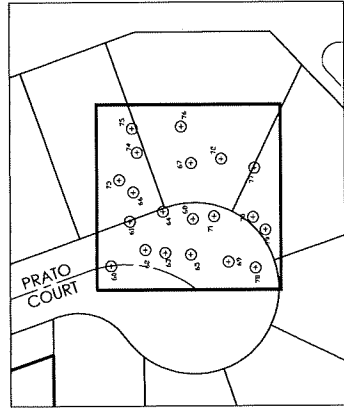
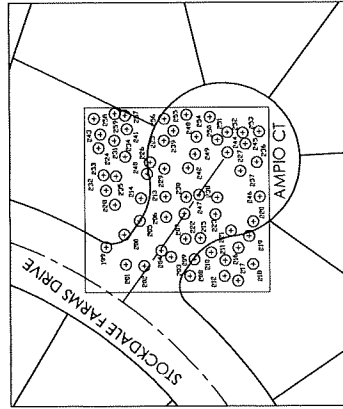
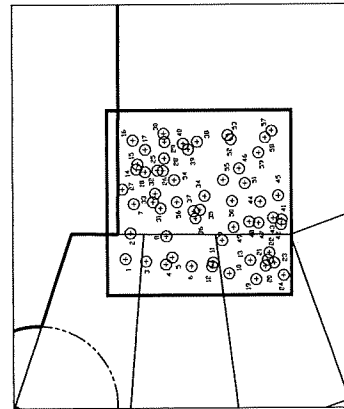
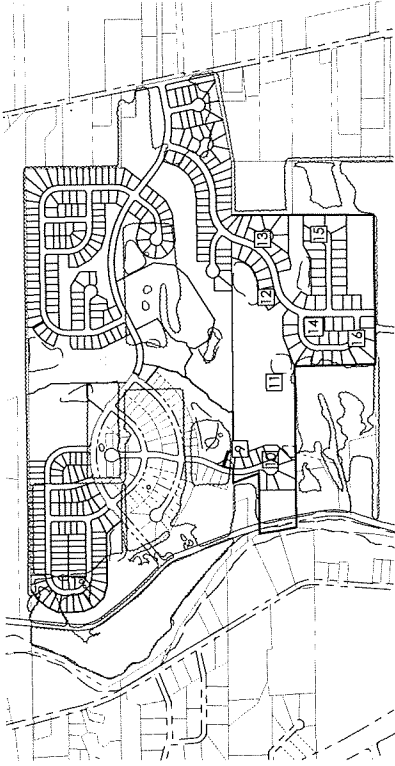
3) Average Number of Caliber Inches per Acre: (Original Trees Also and Pocket Tract)  
 1.407 (25,000) of  
 1.222 (16,370) of  
 1.222 (16,370) of  
 848 (113,527) of

**OVERALL SITE**



SHEET 9/15

OVERALL SITE



GRAPHIC SCALE  
1" = 50 Feet



10/15

DATE: July 1, 2020  
SCALE: 1" = 50'  
JOB NO: 2000017

**EMHT**  
Engineering & Planning  
1000 West 17th Street, Suite 100  
Boulder, CO 80502  
Phone: 303.440.1234  
www.emht.com

CITY OF DELAWARE, DELAWARE COUNTY  
FINAL DEVELOPMENT PLAN  
TERRA ALTA SECTION 2  
PARTS 1 & 2  
TREE SURVEY (ROCKERS TRACT)

TERRA ALTA LLC  
148 WEST SCHROCK ROAD  
WESTFIELD, OH 44091  
419.931.9461

NO.	DATE	DESCRIPTION

7/1/2020 15:17:00 2000017 Final Development Plan Part 10 Tree Survey (Rockers Tract) Last Saved By: Admin 7/1/2020 8:23 AM Last Printed By: Admin 7/1/2020 8:36 AM (PL)









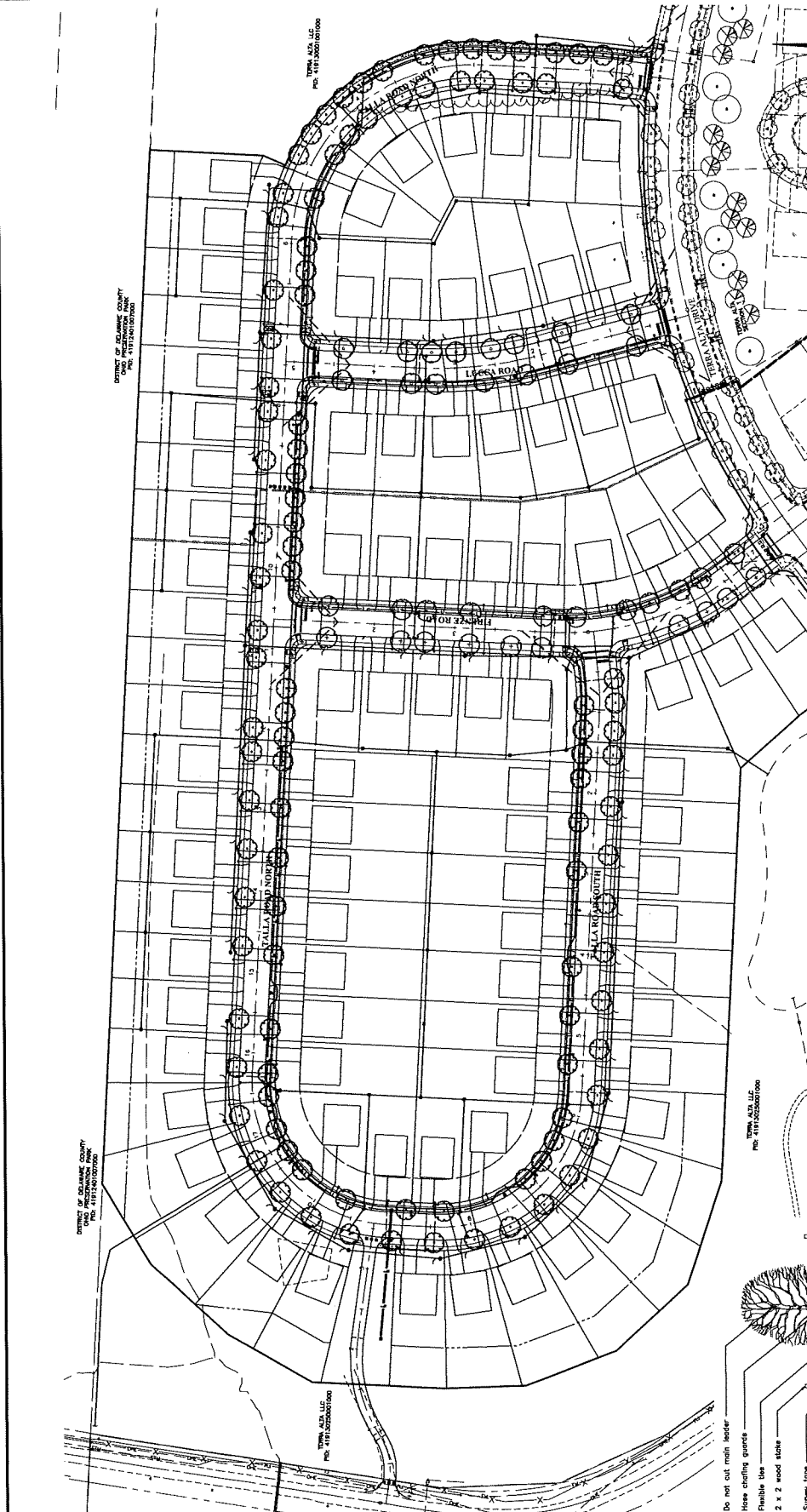
NO.	DATE	DESCRIPTION

TERRA ALTA L.L.C.  
 148 WEST SCHROCK ROAD  
 WESTFELLS, OHIO 43081  
 (614) 931-1842

CITY OF DELAWARE, DELAWARE COUNTY  
 FINAL DEVELOPMENT PLAN  
 FOR  
 TERRA ALTA SECTION 2  
 PARTS 1 & 2  
 STREET TREE PLAN

EMT  
 Engineering & Mapping Technology  
 11000 W. 12th Street, Suite 100  
 Overland Park, KS 66213  
 (913) 241-1100

Job No. 1415  
 DATE  
 SCALE  
 1" = 40'  
 SHEET  
 2018157  
 SHEET  
 14/15



PLANT SCHEDULE

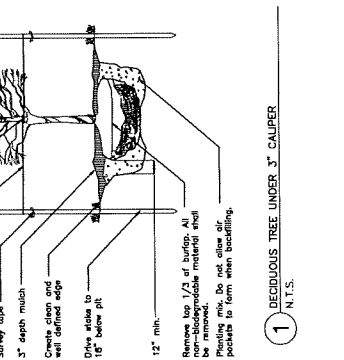
STREET TREES	CODE	BASE 1 QUANTITY	BASE 2 QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
	CS	89	36	Quercus shumardii	Shumard Red Oak	2" Cal.	BBB
	TS	-	15	Thuja occidentalis var. 'Suntara'	Sharps Silver Juniper	2" Cal.	BBB
	US	21	-	Ulmus americana var. 'Jefferson'	Jefferson Elm	2" Cal.	BBB

GRAPHIC SCALE  
 1 inch = 40 feet

No trees shall be planted in the tree lawn.  
 No trees shall be placed within 10' of a hydrant.

10. Match tree rings with sprayed barcodes, match of uniform dark brown depth. All trees in accordance with planting details.
11. Street trees shall have a clear canopy height of 8' min.
12. Tree shall be placed a minimum of 10' from adjacent property.
13. Tree shall be planted on site and consist of one post label, one post and one tag. All trees shall be planted with a minimum of 4" of organic mulch, 1/2 inch and larger. One gallon of commercial grade fertilizer shall be applied to all trees to be fertilized with a commercial grade fertilizer.
14. Contractor to determine plant list quantities from the plan. Graphics shall be used to determine quantities in case of discrepancy with reproduction on plan.
15. Any trees or areas damaged during construction shall be repaired or replaced with trees of the same or better quality.
16. Contractor shall thoroughly water all trees at time of installation and shall water all trees installed for one full year from date of acceptance by the Owner. All trees shall be alive and at a vigorous rate of growth at the end of the guarantee period.

- GENERAL NOTES
1. Street tree sections shall be approved by the City of Delaware Street Department prior to installation. The landscape contractor shall inspect the general notes and specifications provided by general contractor. The landscape contractor shall verify all notes and specifications and shall not proceed until all conditions have been corrected and are acceptable to the landscape contractor.
  2. All trees shall be planted in accordance with the American Standard for Nursery Stock, ANSI Z60.1, 2012. All trees shall equal or exceed the minimum specifications set forth in the American Standard for Nursery Stock, ANSI Z60.1, 2012.
  3. All trees shall be planted in accordance with the American Standard for Nursery Stock, ANSI Z60.1, 2012.
  4. All trees shall be planted in accordance with the American Standard for Nursery Stock, ANSI Z60.1, 2012.
  5. Association standards unless noted otherwise.
  6. All trees shall be planted in accordance with the American Standard for Nursery Stock, ANSI Z60.1, 2012.
  7. All trees shall be planted in accordance with the American Standard for Nursery Stock, ANSI Z60.1, 2012.
  8. All trees shall be planted in accordance with the American Standard for Nursery Stock, ANSI Z60.1, 2012.
  9. All trees shall be planted in accordance with the American Standard for Nursery Stock, ANSI Z60.1, 2012.



1. DECIDUOUS TREE UNDER 3" CALIPER  
 N.T.S.

# TERRA ALTA / STOCKDALE FARMS

City of Delaware, Delaware County, Ohio

OVERALL OPEN  
SPACE PLAN

TERRA ALTA LLC.  
140 WEST SCHROEDER ROAD  
WESTERVILLE, OH 43081



NO.	DATE	DESCRIPTION
1	10/20/2010	PRELIMINARY
2	03/11/2011	REVISED
3	08/02/2011	REVISED
4	09/28/2011	REVISED
5	01/17/2012	REVISED
6	02/27/2012	REVISED



OPEN SPACE STATISTICS  
TOTAL OPEN SPACE 570,214 SQ. FT. (13.7%)

LEGEND:  
 GREEN PAVEMENT  
 OPEN SPACE



J:\2010\Delaware County\Delaware County\Stockdale Farms\Overall Open Space Plan.dwg (10/20/2010) 4/20/2012



**RESERVE "F" (CLUBHOUSE)**

SCALE: 1"=30'

- CLUBHOUSE
- SWIMMING POOL



NO.	DATE	BY	CHKD.	APPD.	REVISIONS

2/5

**EMHT**  
Engineering, Mechanical, and  
Thermal Services, Inc.  
10100 N. Meridian Road, Suite 200  
Indianapolis, IN 46260  
Tel: 317.254.1100  
Fax: 317.254.1101  
www.emht.com

PREPARED BY:  
**TERRA ALTA LLC.**  
141 WEST BROADWAY  
MAYFIELD CIRCLE

OPEN SPACE  
ENLARGEMENTS  
(RESERVE "F")

TERRA ALTA /  
STOCKDALE FARMS  
City of Delaware, Delaware County, Ohio

NO.	DATE	DESCRIPTION

3/5  
 SHEETS



**RESERVE "T" (NEIGHBORHOOD PARK)**

- PICKLEBALL COURT
- GAZEBO / SHELTER
- 8' WIDE PATH
- NATURAL PLAY



NATURAL PLAY



PICKLEBALL COURT  
 GAZEBO / SHELTER  
 8' WIDE PATH  
 NATURAL PLAY



NATURAL PLAY

# TERRA ALTA / STOCKDALE FARMS

City of Delaware, Delaware County, Ohio

OPEN SPACE ENLARGEMENT (RESERVE "AA")

TERRA ALTA LLC.  
10000 WOODLAND AVENUE  
MAYFIELD, OHIO 43078



NO.	DATE	BY	DESCRIPTION
1	08/17/2023		
2			
3			
4			
5			



RESERVE "AA" (TOT LOT)  
SCALE: 1"=100'

- TOT LOT
- MULTI-PURPOSE ATHLETIC FIELD
- BASKETBALL COURT



TOT LOT



RESERVE "CC" (POOL HOUSE / POOL)

- SCALE: 1"=30'
- SWIMMING POOL
  - POOL HOUSE
  - 8' WIDE PATH



TERRA ALTA /  
STOCKDALE FARMS  
City of Delaware, Delaware County, Ohio

OPEN SPACE  
ENLARGEMENT  
(RESERVE "CC")

TERRA ALTA LLC.  
11100 DELAWARE AVENUE  
WILMINGTON, OH 43081

EMH-T  
Engineering & Mapping, Inc.  
11100 Delaware Avenue  
Wilmington, Ohio 43081  
Phone: 513.251.1111  
Fax: 513.251.1112  
www.emh-t.com

DATE	11/13/2020
PROJECT	STOCKDALE FARMS
CLIENT	TERRA ALTA LLC.
SCALE	1" = 30'
DRAWN	EMH-T
CHECKED	EMH-T
DATE	11/13/2020

5/5



**CITY OF DELAWARE, OHIO  
PLANNING & COMMUNITY DEVELOPMENT  
MASTER APPLICATION FORM**



Project # \_\_\_\_\_ Case # \_\_\_\_\_

Planning Commission

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Amended Final Development Plan                | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non-Conforming Use             |
| <input type="checkbox"/> Amended Final Subdivision Plat                | <input type="checkbox"/> Final Subdivision Plat           | <input type="checkbox"/> Vacation-Alley                                   |
| <input type="checkbox"/> Amended Preliminary Development Plan          | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement                                |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat          | <input type="checkbox"/> Floodplain Permit                | <input type="checkbox"/> Vacation-Street                                  |
| <input type="checkbox"/> Annexation Review                             | <input type="checkbox"/> Lot Split                        | <b>Board of Zoning Appeals</b>  |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement         | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment                  | <input type="checkbox"/> Preliminary Development Plan     | <input type="checkbox"/> Conditional Use Permit                           |
| <input type="checkbox"/> Concept Plan                                  | <input type="checkbox"/> Preliminary Dev Plan Extension   | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit                        | <input type="checkbox"/> Preliminary Sub Plat             | <input type="checkbox"/> Variance   |
| <input type="checkbox"/> Determination of Similar Use                  | <input type="checkbox"/> Preliminary Sub Plat Extension   |   |
| <input type="checkbox"/> Development Plan Exemption                    | <input type="checkbox"/> Rezoning                         |   |
| <input checked="" type="checkbox"/> Final Development Plan             | <input type="checkbox"/> Subdivision Variance             |   |

Subdivision/Project Name Terra Alta Section 2 Part 1 Address Terra Alta Drive  
 Acreage 18.855 Square Footage \_\_\_\_\_ Number of Lots 65 Number of Units \_\_\_\_\_  
 Zoning District/Land Use R-2 PMU Proposed Zoning/Land Use \_\_\_\_\_ Parcel # 41913001001000

Applicant Name Terra Alta LLC Contact Person Jim Ohlin  
 Applicant Address 148 W. Schrock Road Westerville, Ohio 43081  
 Phone (614) 891-2042 Fax \_\_\_\_\_ E-mail johlin@rh-homes.com  
 Owner Name Terra Alta LLC Contact Person Jim Ohlin  
 Owner Address 148 W. Schrock Road Westerville, Ohio 43081  
 Phone (614) 89-2042 Fax \_\_\_\_\_ E-mail johlin@rh-homes.com  
 Engineer/Architect/Attorney EMH&T Contact Person Jeff Strung  
 Address 5500 New Albany Road Columbus, Ohio 43054  
 Phone (614) 775-4700 Fax \_\_\_\_\_ E-mail jstrung@emh&t.com

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

[Signature] Owner Signature Donna Miller Owner Printed Name  
[Signature] Agent Signature Jeff Strung EMH&T Agent Printed Name

Sworn to before me and subscribed in my presence this 1 day of July, 2020  
Karen Walschott Notary Public, State of Ohio  
 My Commission Expires 11-16-2022  
[Notary Stamp] Notary Stamp Karen Walschott Notary Public





**CITY OF DELAWARE, OHIO  
PLANNING & COMMUNITY DEVELOPMENT  
MASTER APPLICATION FORM**



Project # \_\_\_\_\_ Case # \_\_\_\_\_

**Planning Commission**

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Amended Final Development Plan                | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non- Conforming Use            |
| <input type="checkbox"/> Amended Final Subdivision Plat                | <input type="checkbox"/> Final Subdivision Plat           | <input type="checkbox"/> Vacation-Alley                                   |
| <input type="checkbox"/> Amended Preliminary Development Plan          | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement                                |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat          | <input type="checkbox"/> Floodplain Permit                | <input type="checkbox"/> Vacation-Street                                  |
| <input type="checkbox"/> Annexation Review                             | <input type="checkbox"/> Lot Split                        | <b><u>Board of Zoning Appeals</u></b>                                     |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement         | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment                  | <input type="checkbox"/> Preliminary Development Plan     | <input type="checkbox"/> Conditional Use Permit                           |
| <input type="checkbox"/> Concept Plan                                  | <input type="checkbox"/> Preliminary Dev Plan Extension   | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit                        | <input type="checkbox"/> Preliminary Sub Plat             | <input type="checkbox"/> Variance   |
| <input type="checkbox"/> Determination of Similar Use                  | <input type="checkbox"/> Preliminary Sub Plat Extension   |   |
| <input type="checkbox"/> Development Plan Exemption                    | <input type="checkbox"/> Rezoning                         |   |
| <input checked="" type="checkbox"/> Final Development Plan             | <input type="checkbox"/> Subdivision Variance             |   |

Subdivision/Project Name Terra Alta Section 2 Part 2 Address Terra Alta Drive  
 Acreage 7.634 Square Footage \_\_\_\_\_ Number of Lots 27 Number of Units \_\_\_\_\_  
 Zoning District/Land Use R2 PMU Proposed Zoning/Land Use \_\_\_\_\_ Parcel # 41913001001000

Applicant Name Terra Alta LLC Contact Person Mr. Jim Ohlin  
 Applicant Address 148 W. Schrock Road Westerville, Ohio 43081  
 Phone (614) 891-2042 Fax \_\_\_\_\_ E-mail johlin@rh-homes.com  
 Owner Name Terra Alta LLC Contact Person Mr. Jim Ohlin  
 Owner Address 148 W. Schrock Road Westerville, Ohio 43081  
 Phone (614) 891-2042 Fax \_\_\_\_\_ E-mail johlin@rh-homes.com  
 Engineer/Architect/Attorney EMH&T Contact Person Jeff Strung  
 Address 5500 New Albany Rd Columbus, Ohio 43054  
 Phone (614) 775-4700 Fax \_\_\_\_\_ E-mail jstrung@emht.com

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

[Signature] Owner Signature Daniel R. Miller Owner Printed Name  
[Signature] Agent Signature Jeff Strung EMH&T Agent Printed Name

Sworn to before me and subscribed to this \_\_\_\_\_ day of July, 2020  
KAREN WALSCOTT  
 Notary Public, State of Ohio  
 My Commission Expires 11-16-2022  
[Signature]  
 Notary Stamp Notary Public



**CITY OF DELAWARE, OHIO  
PLANNING & COMMUNITY DEVELOPMENT  
MASTER APPLICATION FORM**



Project # \_\_\_\_\_ Case # \_\_\_\_\_

**Planning Commission**

- |  |  |   |
|--|--|---|
| <input type="checkbox"/> Amended Final Development Plan                | <input type="checkbox"/> Final Development Plan Extension  | <input type="checkbox"/> Substitution of a Non- Conforming Use            |
| <input type="checkbox"/> Amended Final Subdivision Plat                | <input checked="" type="checkbox"/> Final Subdivision Plat | <input type="checkbox"/> Vacation-Alley                                   |
| <input type="checkbox"/> Amended Preliminary Development Plan          | <input type="checkbox"/> Final Subdivision Plat Extension  | <input type="checkbox"/> Vacation-Easement                                |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat          | <input type="checkbox"/> Floodplain Permit                 | <input type="checkbox"/> Vacation-Street                                  |
| <input type="checkbox"/> Annexation Review                             | <input type="checkbox"/> Lot Split                         | <b>Board of Zoning Appeals</b>  |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement          | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment                  | <input type="checkbox"/> Preliminary Development Plan      | <input type="checkbox"/> Conditional Use Permit                           |
| <input type="checkbox"/> Concept Plan                                  | <input type="checkbox"/> Preliminary Dev Plan Extension    | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit                        | <input type="checkbox"/> Preliminary Sub Plat              | <input type="checkbox"/> Variance   |
| <input type="checkbox"/> Determination of Similar Use                  | <input type="checkbox"/> Preliminary Sub Plat Extension    |   |
| <input type="checkbox"/> Development Plan Exemption                    | <input type="checkbox"/> Rezoning                          |   |
| <input type="checkbox"/> Final Development Plan                        | <input type="checkbox"/> Subdivision Variance              |   |

Subdivision/Project Name TERRA ALTA SECTION 2 PART 1 Address TERRA ALTA DRIVE  
 Acreage 18.855 Square Footage \_\_\_\_\_ Number of Lots 65 Number of Units \_\_\_\_\_  
 Zoning District/Land Use PMU/R2 Proposed Zoning/Land Use \_\_\_\_\_ Parcel # 41913001001000

Applicant Name TERRA ALTA LLC Contact Person JIM CHLIN  
 Applicant Address 148 WEST SCHNOCK ROAD, WESTERVILLE, OHIO, 43081  
 Phone 614-891-2042 Fax \_\_\_\_\_ E-mail JOHLIN@RH-HOMES.COM  
 Owner Name SAME AS APPLICANT Contact Person \_\_\_\_\_  
 Owner Address \_\_\_\_\_  
 Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-mail \_\_\_\_\_  
 Engineer/Architect/Attorney EMHAT Contact Person JEFF STRUNG  
 Address 5500 NEW ALBANY ROAD, COLUMBUS, OHIO, 43054  
 Phone 614-775-4700 Fax \_\_\_\_\_ E-mail JSTRUNG@EMHAT.COM

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

[Signature] Owner Signature [Printed Name] Owner Printed Name  
[Signature] Agent Signature Jeff Strung EMHAT Agent Printed Name

Sworn to before me and subscribed to by CAREN WALSCOTT this 1 day of July, 2020  
 Notary Public, State of Ohio  
 My Commission Expires 11-16-2022  
[Signature] Notary Stamp Laren Walscott Notary Public



**CITY OF DELAWARE, OHIO  
PLANNING & COMMUNITY DEVELOPMENT  
MASTER APPLICATION FORM**



Project # \_\_\_\_\_ Case # \_\_\_\_\_

Planning Commission

- |  |  |   |
|--|--|---|
| <input type="checkbox"/> Amended Final Development Plan                | <input type="checkbox"/> Final Development Plan Extension  | <input type="checkbox"/> Substitution of a Non-Conforming Use             |
| <input type="checkbox"/> Amended Final Subdivision Plat                | <input checked="" type="checkbox"/> Final Subdivision Plat | <input type="checkbox"/> Vacation-Alley                                   |
| <input type="checkbox"/> Amended Preliminary Development Plan          | <input type="checkbox"/> Final Subdivision Plat Extension  | <input type="checkbox"/> Vacation-Easement                                |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat          | <input type="checkbox"/> Floodplain Permit                 | <input type="checkbox"/> Vacation-Street                                  |
| <input type="checkbox"/> Annexation Review                             | <input type="checkbox"/> Lot Split                         | <b>Board of Zoning Appeals</b>  |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement          | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment                  | <input type="checkbox"/> Preliminary Development Plan      | <input type="checkbox"/> Conditional Use Permit                           |
| <input type="checkbox"/> Concept Plan                                  | <input type="checkbox"/> Preliminary Dev Plan Extension    | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit                        | <input type="checkbox"/> Preliminary Sub Plat              | <input type="checkbox"/> Variance   |
| <input type="checkbox"/> Determination of Similar Use                  | <input type="checkbox"/> Preliminary Sub Plat Extension    |   |
| <input type="checkbox"/> Development Plan Exemption                    | <input type="checkbox"/> Rezoning                          |   |
| <input type="checkbox"/> Final Development Plan                        | <input type="checkbox"/> Subdivision Variance              |   |

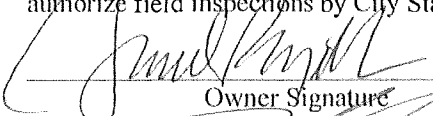
Subdivision/Project Name TERRA ALTA SECTION 2 PART 2 Address TERRA ALTA DRIVE  
 Acreage 7.634 Square Footage \_\_\_\_\_ Number of Lots 27 Number of Units \_\_\_\_\_  
 Zoning District/Land Use PMYR2 Proposed Zoning/Land Use \_\_\_\_\_ Parcel # 41913 001001000

Applicant Name TERRA ALTA LLC Contact Person JSM OHLIN  
 Applicant Address 148 WEST SCHROCK ROAD, WESTERVILLE, OHIO, 43081  
 Phone 614-891-2042 Fax \_\_\_\_\_ E-mail JOHLIN@RH-HOMES.COM

Owner Name SAME AS APPLICANT Contact Person \_\_\_\_\_  
 Owner Address \_\_\_\_\_  
 Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-mail \_\_\_\_\_

Engineer/Architect/Attorney EMHT Contact Person JEFF STRUNK  
 Address 5500 NEW ALBANY ROAD, COLUMBUS, OHIO, 43054  
 Phone 614-775-4700 Fax \_\_\_\_\_ E-mail JSTRUNK@EMHT.COM

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

  
 \_\_\_\_\_  
 Owner Signature

Daniel Ruyter  
 \_\_\_\_\_  
 Owner Printed Name

  
 \_\_\_\_\_  
 Agent Signature

Jeff Strunk EMHT  
 \_\_\_\_\_  
 Agent Printed Name

Sworn to before me and subscribed in my presence this 1 day of July, 2020



KAREN WALSCOTT  
 Notary Public, State of Ohio  
 My Commission Expires 11-16-2022  
 Notary Stamp

Karen Walschott  
 \_\_\_\_\_  
 Notary Public



## PLANNING COMMISSION/STAFF REPORT

**CASE NUMBER:** 2020-1498-1499

**REQUEST:** Multiple Requests

**PROJECT:** Delaware Square Shopping Center

**MEETING DATE:** August 5, 2020

---

### APPLICANT/OWNER

Gosula Holding LTD  
1139 Columbus Pike  
Delaware, Ohio 43015

### REQUEST

2020-1498: A request by Gosula Holdings LTD., for approval of a Conditional Use Permit for a Drive Thru for a New Commercial Building on approximately 0.605 acres on property zoned B-3 (Community Business District) and located at 1163 Columbus Pike (an out parcel of the Delaware Square Shopping Center).

2020-1499: A request by Gosula Holdings LTD., for approval of a Combined Preliminary and Final Development Plan for a New Commercial Building on approximately 0.605 acres on property zoned B-3 (Community Business District) and located at 1163 Columbus Pike (an out parcel of the Delaware Square Shopping Center).

### PROPERTY LOCATION & DESCRIPTION

The subject site encompasses approximately 0.605-acres and is an out parcel of the Delaware Square Shopping Center located just north of the main entrance into the Shopping Center from Columbus Pike (US 23) at the former Jiffy Lube site (which was razed by the owner). The subject site is zoned B-3 (Community Business District) as are the properties to the north, south and east. The properties to the west across US 23 are zoned R-2 (One-Family Residential District).

### BACKGROUND

The owner razed the former Jiffy Lube building and is proposing to construct an approximate 3,276 square foot commercial building with a drive thru. The site would be accessed thru the main entrance into Delaware Square Shopping Center from Columbus Pike. The out parcel would have two curb cuts from the Shopping Center access road that would extend into a 20-space parking lot with a drive thru on the eastern portion of the building. A dumpster would be located on the northeastern portion of the site.

---

### STAFF ANALYSIS

- **ZONING:** As previously mentioned, the subject property is zoned B-3 which allows the proposed commercial use. However, a Conditional Use Permit would be required for the proposed drive thru as there is no record of one being issued for the former Jiffy Lube site which was itself a drive through oil change facility. Therefore, the proposed development would be required to have a Conditional Use Permit and Combined Preliminary and Final Development Plan approved by the Planning Commission and City Council.
- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
- **ROADS AND ACCESS:** As mentioned above, the site would be accessed thru the main entrance into Delaware Square Shopping Center from Columbus Pike (US23) with the out parcel having two curb cuts to access the building. The City Engineer is requesting right-of-way to be dedicated along the main access drive into and thru the Shopping Center to the eastern property line so ultimately the City could connect Columbus Pike with Stratford Road with a public street (Cottswold Drive) per the City Highway Improvement and Thoroughfare Plan. This was discussed with the previous property owner and agreed to in principal and then the site was sold to the current owner.

- **PEDESTRIAN CONNECTIVITY:** Because the application is the replacement of an existing building, the installation of a new sidewalk would not be practical along Columbus Pike. There is no sidewalk in this area along the east side of Columbus Pike for safety reasons and therefore none is required in this case. A bike path connection is existing on the west side of US23 in the area connecting into Sandusky Street under US42. This is consistent with the adopted Bicycle and Pedestrian Master Plan 2027 as well.
- **SITE CONFIGURATION:** The proposed site plan would mirror the previous site plan but with traffic safety improvements. The proposed 3,276 square foot building would be centered on the site with access around the entire building and parking along the north and south portions of the site. There are 19 parking spaces proposed while 17 parking spaces are required. There would be two access curb cuts from the Shopping Center internal access road on the north and south portions of the site. A drive thru is located on the eastern portion of the building along with a loading area. A dumpster is located on the northeastern portion of the site and the dumpster enclosure shall be tall enough to completely screen any dumpster and shall be constructed of brick or stone to match the building. It shall have doors painted or stained to match on the front as well which shall generally be kept closed except as access would be needed to serve the intended purpose. Also, the 45-degree parking space located in the northwestern portion of the site shall be eliminated with a landscaping island constructed in this area. Per the City Engineer, stormwater detention would be addressed within the Shopping Center property.
- **BUILDING DESIGN:** The one story approximate 3,276 square foot building would be oriented towards Columbus Pike but would have exposure on all four sides being an out parcel in the shopping center. The primary public elevations, however, would be the south, west, and north sides. The front elevation (west) would be comprised mainly of brick Spec-Brik Buff Color #2215 with the columns being Spec-Brik Hampton Blend Color 33294 with a Sandusky Shore Limestone wainscoting (Delaware blue vein). The wainscoting would be located on the north, south and west elevations. The front elevation would have two typical aluminum storefront entrance doors and windows with a flat roof. A Sunbrella Forest Green awning would be located above each window with a sign area above each set of windows. The side elevations (north and south) would be comprised of Spec-Brik Hampton Blend Color 33294 with one-man door on each elevation. There would be a drive thru window on the north elevation. The rear elevation (east) is comprised of light tan stucco (to match the adjacent Taco Bell) with two-man doors. Any rooftop mechanical equipment shall be screened from public view. Staff would need submittal of each building material with color samples to ensure compliance is achieved with any Final Development Plan requirements. Overall, the building design, material and color are aesthetically pleasing and compatible with the recently approved buildings in the area while continuing the upgrades to this older commercial center.
- **LANDSCAPING & SCREENING:** The proposed development would require street trees, front yard trees, interior parking lot and foundation landscaping. The approximately 210 feet of frontage along Columbus Pike (US 23) would require 6 street trees, 5 front yard trees and 21 shrubs. This landscaping shall be installed along US 23. Because the area between the existing parking lot and US 23 right of way is approximately 2-3 feet wide, the applicant would have to obtain a permit from ODOT to install the proposed 11 trees and in the public right-of-way. If the applicant is not successful in securing such permit from ODOT, the applicant would have to make a payment of \$2,200 in lieu of installing the eleven trees (11 trees equals 22 caliper inches at \$100 per caliper inch). In addition, staff would require 21 shrubs a minimum 3-foot-high at installation along the entire frontage of US 23 per the zoning code. The island separating the site and the shopper center access drive along the eastern portion of the parking lot and any parking islands in and adjacent to the parking lot (including drive thru area) shall be landscaped while maintaining site line safety as determined by the city. The Shade Tree Commission shall review and approve all landscape plans.
- **SIGNAGE:** The owner is not proposing any signage at this time, but any building signage would have to achieve compliance with the zoning code which would include individual cut channel letters. The drive thru would be permitted the typical menu board and associated signage that would achieve compliance with other recently approved drive thru signage. Also, any directional signage shall not be illuminated. Furthermore, any additional ground signage would be prohibited.
- **LIGHTING:** The owner is proposing to utilize the existing shoebox light poles and fixtures with additional building lights. The lighting plans would have to achieve compliance with the minimum zoning requirements and would have to be approved by the City.

- **CONDITIONAL USE PERMIT:** The proposed development achieves compliance with Chapter 1148.05(i) Supplemental Requirements for a Drive-Thru Facility associated with a principal use. In addition, the development achieves compliance with drive thru stacking space requirements in the zoning code.
- 

**STAFF RECOMMENDATION (2020-1498 – CONDITIONAL USE PERMIT)**

Staff recommends approval of a request by Gosula Holdings LTD., for a Conditional Use Permit for a Drive Thru for a New Commercial Building on approximately 0.605 acres on property zoned B-3 (Community Business District) and located at 1163 Columbus Pike (an out parcel of the Delaware Square Shopping Center).

---

**STAFF RECOMMENDATION (2020-1499 – COMBINED PRELIMINARY AND FINAL DEVELOPMENT PLAN)**

Staff recommends approval of a request by Gosula Holdings LTD., for approval of a Combined Preliminary and Final Development Plan for a New Commercial Building on approximately 0.605 acres on property zoned B-3 (Community Business District) and located at 1163 Columbus Pike (an out parcel of the Delaware Square Shopping Center), with the following conditions:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. The dumpster shall be screened from public view by a wall constructed of brick or stone that matches the new building with wood doors painted or stained to match or compliment the overall building.
3. The Shade Tree Commission shall review and approve the submitted street tree plans.
4. The limestone on the building, the stone canopy columns, and the ground sign bases shall be Delaware blue vein limestone (or cultured stone) or equivalent as approved by Staff.
5. All building and fuel canopy appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building material color.
6. All roof top mechanical equipment shall be completely screened from public view.
7. The Applicant shall submit all building elevations along with material and color samples for staff review and approval after approval of the Final Development Plan and prior to any building permit issuance.
8. A lighting plan that achieves compliance with the zoning code shall be submitted, reviewed and approved by the City. All lights shall be fully recessed and cut off and the light poles shall be black.
9. The development shall achieve compliance with Fire Department requirements.
10. The applicant shall secure a permit to install the required 11 street shade trees in the public right of way along US 23 from ODOT. If such permit cannot be secured, the City shall receive a payment of \$2,200 in lieu of installing the required 11 street and shade trees along US 23 (22 caliper inches x 100) prior to building permit approval.
11. A continuous row of shrubs (21 per code) three-foot-high at installation shall be installed along the US 23 frontage per the zoning code requirements.
12. The 45-degree parking space located on the northwestern portion of the site shall be eliminated with a landscape island constructed in this area.
13. The owner shall dedicate right-of-way within the Shopping Center for the future Cottswold Drive extension per the City Highway Improvement and Thoroughfare Plan.

**COMMISSION NOTES:**

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

---

*MOTION:*    \_\_\_\_\_ *1<sup>st</sup>*    \_\_\_\_\_ *2<sup>nd</sup>*    *approved*    *denied*    *tabled* \_\_\_\_\_

*CONDITIONS/MISCELLANEOUS:*

---

---

---

---

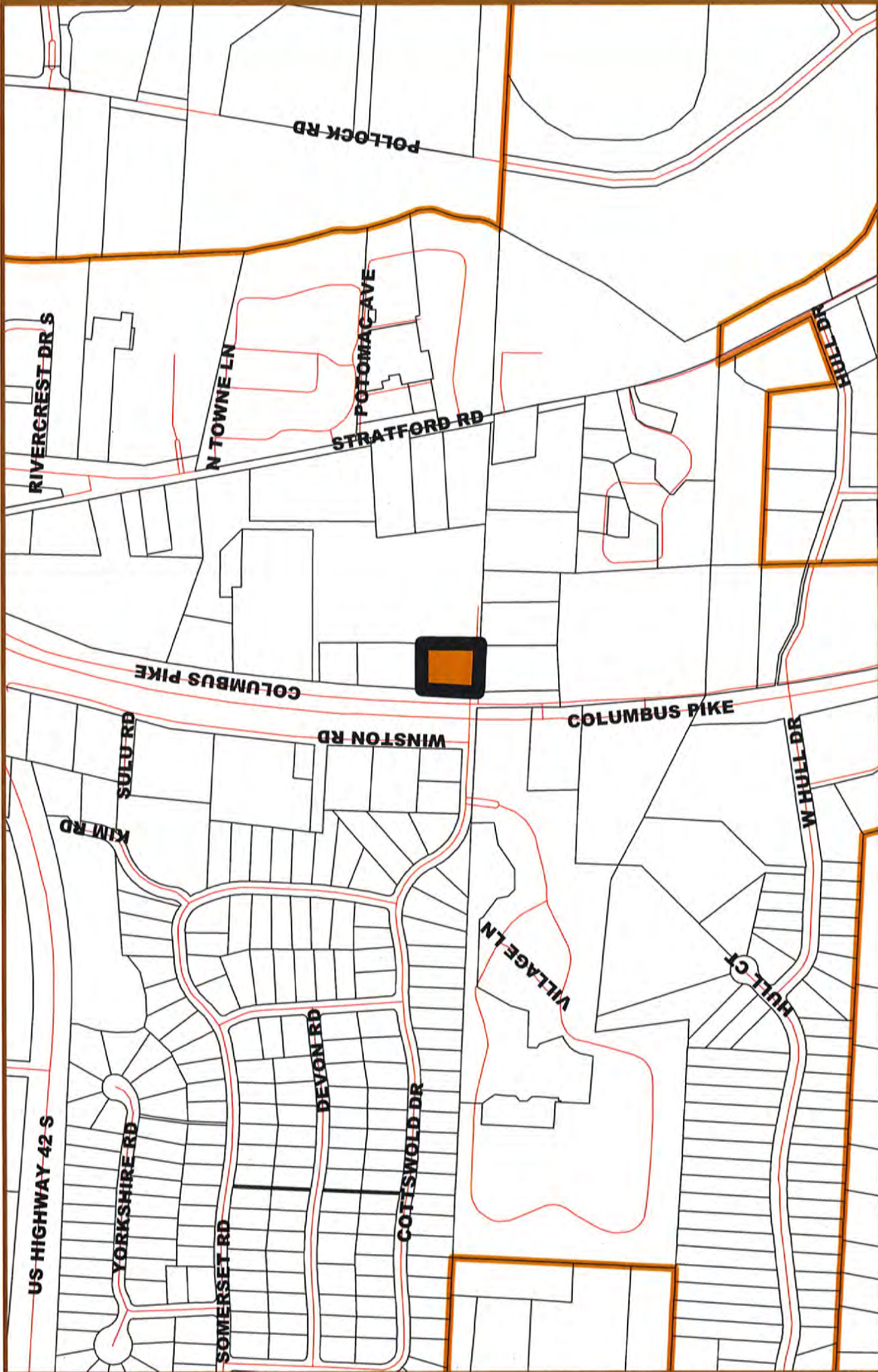
---

---

---

---

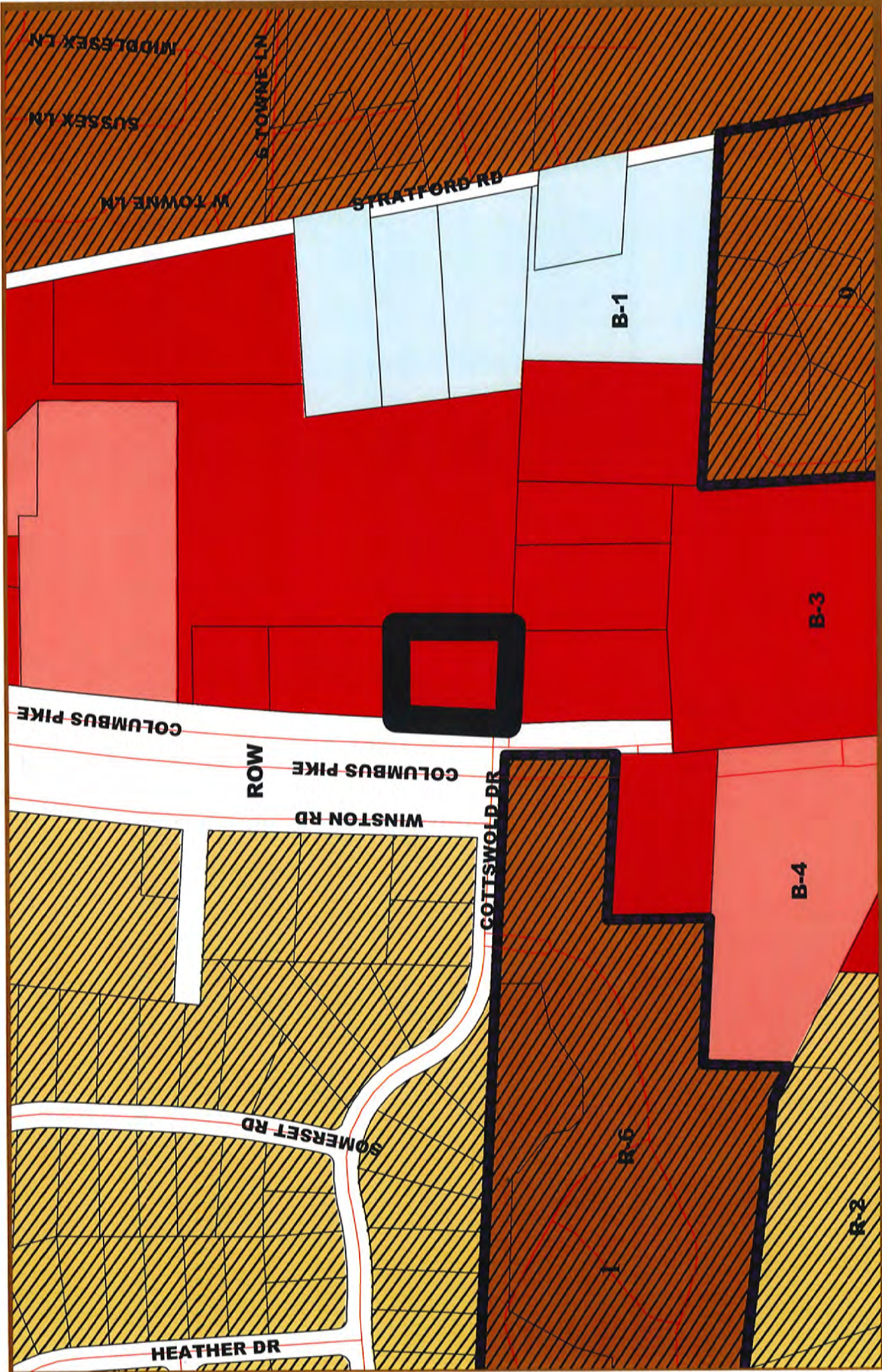
**FILE:**  
**ORIGINAL:**      07/30/20  
**REVISED:**



2020-1498-1499  
 Conditional Use Permit & Combined  
 Preliminary and Final Development Plan  
 Delaware Square Shopping Center - 1163 Columbus Pike  
 Location Map







2020-1498-1499  
 Conditional Use Permit & Combined  
 Preliminary and Final Development Plan  
 Delaware Square Shopping Center - 1163 Columbus Pike  
 Zoning Map



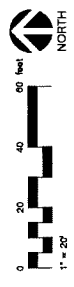
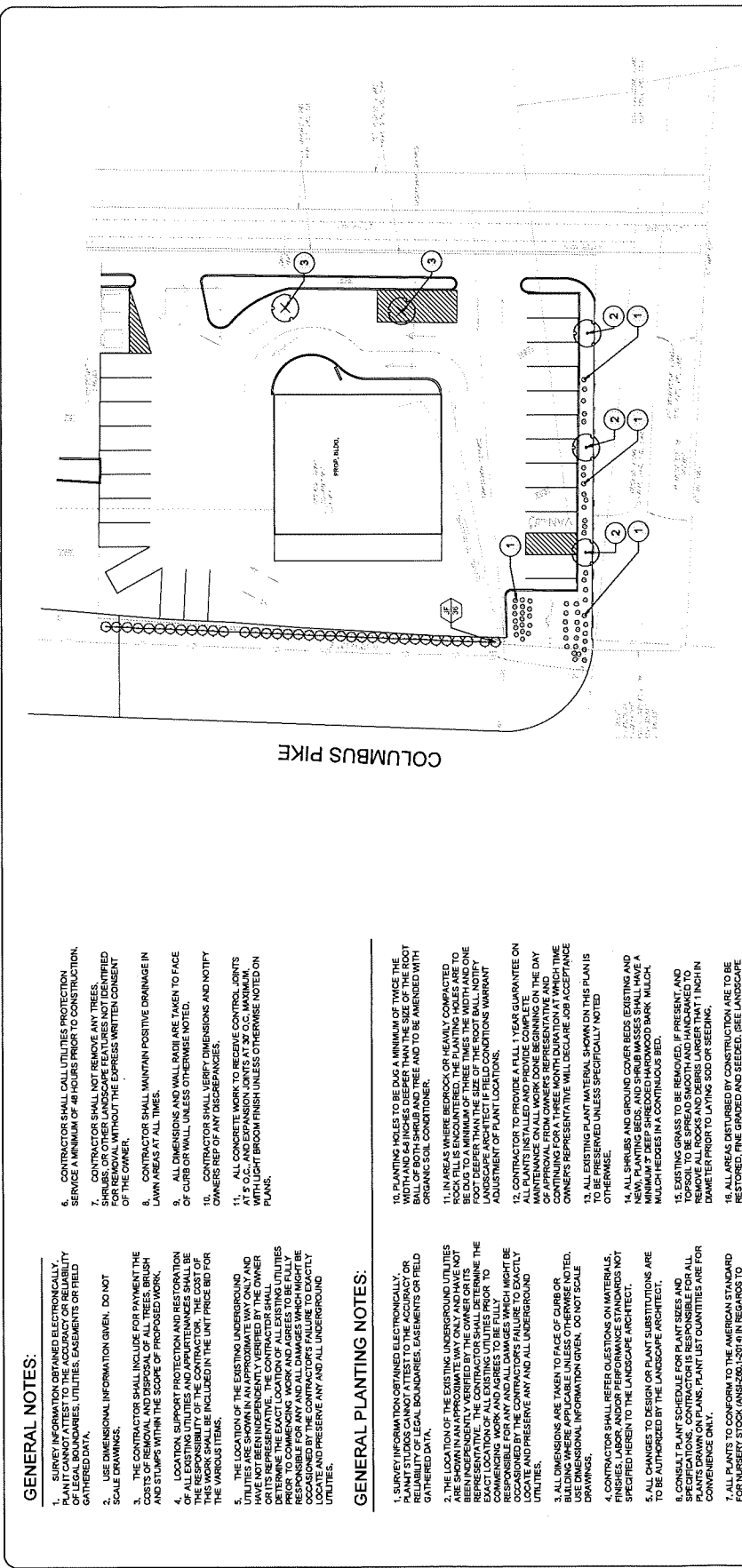


2020-1498-1499  
Conditional Use Permit & Combined  
Preliminary and Final Development Plan  
Delaware Square Shopping Center - 1163 Columbus Pike  
Aerial (2016) Map









**REFERENCE NOTES SCHEDULE**

SYMBOL	DESCRIPTION	QTY	DETAIL
1	EXISTING SHRUBS TO REMAIN. PRUNE TO MAINTAIN APPEARANCE.		
2	EXISTING TREE TO REMAIN. REMOVE DEAD BRANCHES AND PRUNE TO MAINTAIN APPEARANCE.		
3	EXISTING TREES TO BE REMOVED. POOR OVERALL CONDITION		

**PLANT SCHEDULE**

SYMBOL	COMMON BOTANICAL NAME	QTY	COULT
1	See Green, Juniper / Juniperus chinensis 'Sea Green'		SEE'S - 4' min.
2	See Green, Juniper / Juniperus chinensis 'Sea Green'		SEE'S - 4' min.
3	See Green, Juniper / Juniperus chinensis 'Sea Green'		SEE'S - 4' min.

ALL PLANTS IN MISSING TO BE SUBMITTED IN PLANT MAT. ALL PLANTS TO BE PLANTED IN HOLES.

ALL HOLES TO BE PLANTED TO BE SUBMITTED IN PLANT MAT. ALL PLANTS TO BE PLANTED IN HOLES.

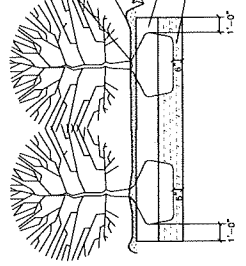
ALL SHRUBS TO BE PLANTED TO BE SUBMITTED IN PLANT MAT. ALL PLANTS TO BE PLANTED IN HOLES.

ALL SHRUBS TO BE PLANTED TO BE SUBMITTED IN PLANT MAT. ALL PLANTS TO BE PLANTED IN HOLES.

ALL SHRUBS TO BE PLANTED TO BE SUBMITTED IN PLANT MAT. ALL PLANTS TO BE PLANTED IN HOLES.

ALL SHRUBS TO BE PLANTED TO BE SUBMITTED IN PLANT MAT. ALL PLANTS TO BE PLANTED IN HOLES.

ALL SHRUBS TO BE PLANTED TO BE SUBMITTED IN PLANT MAT. ALL PLANTS TO BE PLANTED IN HOLES.



**GENERAL NOTES:**

1. SURVEY INFORMATION OBTAINED ELECTRONICALLY. PLANT STOCK CANNOT ATTEST TO THE ACCURACY OR RELIABILITY OF ANY INFORMATION, UTILITIES, OR DIMENSIONS GATHERED DATA.
2. USE DIMENSIONAL INFORMATION GIVEN. DO NOT SCALE DRAWINGS.
3. THE CONTRACTOR SHALL INCLUDE FOR PAYMENT IN THE BIDDING PRICE THE COST OF ALL UTILITIES, PERMITS, AND STAMPS WITHIN THE SCOPE OF PROPOSED WORK.
4. LOCATION, SUPPORT PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF THIS WORK SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.
5. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

**GENERAL PLANTING NOTES:**

1. SURVEY INFORMATION OBTAINED ELECTRONICALLY. PLANT STOCK CANNOT ATTEST TO THE ACCURACY OR RELIABILITY OF ANY INFORMATION, UTILITIES, OR DIMENSIONS GATHERED DATA.
2. THE CONTRACTOR SHALL INCLUDE FOR PAYMENT IN THE BIDDING PRICE THE COST OF ALL UTILITIES, PERMITS, AND STAMPS WITHIN THE SCOPE OF PROPOSED WORK.
3. THE CONTRACTOR SHALL INCLUDE FOR PAYMENT IN THE BIDDING PRICE THE COST OF ALL UTILITIES, PERMITS, AND STAMPS WITHIN THE SCOPE OF PROPOSED WORK.
4. LOCATION, SUPPORT PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF THIS WORK SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE VARIOUS ITEMS.
5. THE CONTRACTOR SHALL INCLUDE FOR PAYMENT IN THE BIDDING PRICE THE COST OF ALL UTILITIES, PERMITS, AND STAMPS WITHIN THE SCOPE OF PROPOSED WORK.
6. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS AT ALL TIMES.
7. ALL DIMENSIONS AND WALL RADII ARE TAKEN TO FACE OF CURB OR WALL UNLESS OTHERWISE NOTED.
8. CONTRACTOR SHALL VERIFY DIMENSIONS AND NOTIFY OWNERS REP OF ANY DISCREPANCIES.
9. ALL CONCRETE WORK TO RECEIVE CONTINGENT JOINTS WITH LIGHT BROOM FINISH UNLESS OTHERWISE NOTED ON PLANS.
10. PLANTING HOLES TO BE DUG A MINIMUM OF TWICE THE WIDTH AND DEPTH AND TO BE FILLERED WITH ORGANIC SOIL CONDITIONER.
11. IN AREAS WHERE BEDROCK OR HEAVY COMPACTED ROCK FILL IS ENCOUNTERED, THE PLANTING HOLES ARE TO BE DUG TO A MINIMUM OF THREE TIMES THE WIDTH AND ONE TIME THE DEPTH OF THE PLANTING HOLES. THE CONTRACTOR SHALL OBTAIN A WRITTEN WARRANT FROM THE LANDSCAPE ARCHITECT IF FIELD CONDITIONS WARRANT ADJUSTMENT OF PLANT LOCATIONS.
12. CONTRACTOR TO PROVIDE A FULL YEAR GUARANTEE ON ALL PLANTS INSTALLED AND PROVIDE COMPLETE MAINTENANCE ON ALL WORK DONE BEGINNING ON THE DAY OF PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTINUING FOR A THREE MONTH DURATION AT WHICH TIME THE OWNER'S REPRESENTATIVE WILL DECLARE JOB ACCEPTANCE AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENT OF PLANT LOCATIONS.
13. ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLANS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.
14. ALL SHRUBS AND GROUND COVER BEDS (EXISTING AND NEW), PLANTING BEDS, AND SHRUB MASSSES SHALL HAVE A MINIMUM JUMP DESIGN TO BE COORDINATED WITH THE DRAINAGE DIRECTION AND BEING LARGER THAN 1 INCH IN DIAMETER PRIOR TO LAYING SOIL OR SEEDING.
15. EXISTING GRASS TO BE REMOVED, IF PRESENT, AND RESTORED TO ORIGINAL CONDITION. ALL EXISTING GRASS TO BE REMOVED PRIOR TO LAYING SOIL OR SEEDING.
16. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED. (SEE LANDSCAPE PLANS) - SEEDING OR SOODING BY LANDSCAPE CONTRACTOR, WITH EXISTING OR PROPOSED IRRIGATION SYSTEM, IF APPLICABLE. THE CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AND INSTALLATION OF SYSTEM, IF APPLICABLE.

**ZONING NOTES:**

- 1166.08 (B)(1). Screening Along Public Streets and Perimeter of Parking Areas. Whenever parking areas consisting of five (5) spaces or more are located such that the parked cars will be visible from a public street, the parking area shall be screened by a minimum height of six (6) feet. The screening shall be provided and maintained between the parking area and the street. The screening shall be a minimum height of six (6) feet and fences shall have a minimum height of three (3) feet. Evergreen Shrubs provided between parking lot and R1, R2 within 5' parking edge.
- 1166.08 (A)(2). One tree shall be provided for every forty (40) linear feet of frontage, or fraction thereof, along each road.
- 185 Frontage / 40 L.L. = 5 trees required. The City shall received a payment in lieu of planting street and shade trees (the number of trees is based on the zoning code requirements along US 25 to be consistent with the trees that approved in 2014.