

**CITY OF DELAWARE
PLANNING COMMISSION
AGENDA**

**CITY COUNCIL CHAMBERS
1 S. SANDUSKY ST.
6:30 P.M.**

REGULAR MEETING

February 5, 2020

1. ROLL CALL
2. APPROVAL of the Motion Summary of the Planning Commission meeting held on January 15, 2020, as recorded and transcribed.
3. REGULAR BUSINESS
 - A. 2020-0010: A request by K2 Development for approval of a Combined Preliminary and Final Development Plan at Glenwood Commons Shopping Center for an approximate 96,100 square foot Retail Building located at 1180 Sunbury Road and zoned B-3 PMU (Community Business District with a Planned Mixed-Use Overlay District) on approximately 14.198 acres

Anticipated Process

- a. Staff Presentation
- b. Applicant Presentation
- c. Public comment (not a public hearing)
- d. Commission Action

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- B. 2020-0035: A request by the Delaware General Health District for approval of a Preliminary Development Plan for a New Office Building at 470 South Sandusky Street on approximately 9.4 acres on property zoned PO/I (Planned Office/Institutional District).

Anticipated Process

- a. Staff Presentation
- b. Applicant Presentation
- c. Public comment (not a public hearing)
- d. Commission Action

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4. PLANNING DIRECTOR'S REPORT
5. COMMISSION MEMBER COMMENTS AND DISCUSSION
6. NEXT REGULAR MEETING: March 4, 2020
7. ADJOURNMENT

**PLANNING COMMISSION
JANUARY 15, 2020
MOTION SUMMARY**

ITEM 1. Roll Call

Chairman Simpson called the meeting to order at 6:31 p.m.

Members Present: Robert Badger, Jim Halter, Dean Prall, Andy Volenik, Mayor Carolyn Kay Riggle, Vice-Chairman George Mantzoros and Chairman Stacy Simpson

Staff Present: Jon Roseler, Project Engineer, Carrie Fortman, Project Engineer, Jordan Selmek, Zoning Officer and Dave Efland, Planning and Community Development Director

ITEM 2. INTRODUCTION of Jon Roseler, Project Engineer

ITEM 3. APPROVAL of the Motion Summary of the Planning Commission meeting held on December 4, 2019, as recorded and transcribed.

Motion: Mr. Prall motioned to approve the Motion Summary for the Planning Commission meeting held on December 4, 2019, as recorded and transcribed, seconded by Mr. Volenik. Motion approved with a 6-0-1 (Simpson) vote.

ITEM 4. REGULAR BUSINESS

A. 2019-2796: A request by Dublin Building Systems for approval of a Combined Preliminary and Final Development Plan for an expansion to Charter Nex located at 1188 South Houk Road on property zoned M-2 (General Manufacturing District) which encompasses approximately 21.783 acres.

Anticipated Process

a. Staff Presentation

Mr. Selmek reviewed the subject property location on the west side of Houk Road. There is an existing 65,000 square foot manufacturing building that was constructed in 1997. The applicant is proposing a 30,000 square foot addition to the rear of the building with two loading docks. In addition, a 2,600 square foot wood pallet shed would be located on the north elevation on the existing building and 1,050 square foot addition the cafeteria located on the southeastern portion of the building. He discussed the materials for the building would be similar to existing materials.

b. Applicant Presentation

APPLICANT:

Rich Irelan
Dublin Building Systems
6233 Avery Road
Dublin, Ohio

Ed Bush
Charter NEX
1188 South Houk Road
Delaware, Ohio

Mason Malcom
The Kleingers Group
350 Worthington Road, Suite B
Westerville, Ohio 43082

Mr. Irelan voiced no concerns regarding staff conditions. Mr. Bush discussed the nature of the business and not expecting an increase in traffic, but the creation of a higher value product.

c. Public comment (not a public hearing)

There was no public participation.

d. Commission Action

Motion: Vice-Chairman Mantzoros motioned to approved 2019-2796, along with all staff conditions and recommendations, seconded by Mr. Halter. Motion approved with a 7-0 vote.

B. Winterbrook Place

- (1) 2019-2890: A request by Grden LLC for approval of a Final Development Plan for Winterbrook Place Phase 1 on 30.452 acres containing 66 single family lots on property zoned R-3 PMU (One Family Residential District with a Planned Mixed Use Overlay District) and located on Winterbourne Drive, Sienna Glenn Drive, Mahogany Drive, Gardenia Lane and Silver Pine Lane.
- (2) 2019-2892: A request by Grden LLC for approval of a Final Subdivision Plat for Winterbrook Place Phase 1 on 30.452 acres containing 66 single family lots on property zoned R-3 PMU (One Family Residential District with a Planned Mixed Use Overlay District) and located on Winterbourne Drive, Sienna Glenn Drive, Mahogany Drive, Gardenia Lane and Silver Pine Lane.

Anticipated Process

a. Staff Presentation

Mr. Efland reviewed the subject project site and zoning. He reviewed that City Council approved a Rezoning Amendment, conditional Use Permit and Preliminary Development Plan for the development. The property site was annexed into the City in June 2019. The applicant is requesting the Final Development Plan and Final Subdivision Plat for Phase 1. Phase 1 was originally planned for the other part of the property site, but due to wetlands in this area the applicant decided to start construction on the eastern portion of the site fronting Peachblow Road. After mitigation of the wetlands issues, the next phase to be constructed would be the eastern portion of the site. He discussed the property site layout and setbacks. Mr. Efland discussed staff condition 14. A discussion was held regarding the requirement for mailbox clusters.

Mr. Prall questioned if there would be fencing along the roads near retention ponds. Ms. Fortman discussed that the retention ponds will be evaluated to determine if they meet the criteria for fencing during the review process.

b. Applicant Presentation

APPLICANT:

Bob Grden
Grden, LLC
10590 Wellington Blvd.
Powell, Ohio

Jeff Strung
EMH&T
5500 New Albany Rd.
Columbus, Ohio 43054

Mr. Strung discussed that they had a conversation with AEP to get permission to place fencing residential properties. He voiced concern over the landscape plan near the power lines and he recommended allowing for evergreen shrubs in the place of trees to avoid the need of trimming around the power lines.

c. Public comment (not a public hearing)

There was no public participation.

d. Commission Action

Motion: Mr. Badger motioned to approve 2019-2890, along with all staff conditions and recommendations, seconded by Mr. Volenik. Motion approved by a 7-0 vote.

Motion: Mr. Badger motioned to approve 2019-2892, along with all staff conditions and recommendations, seconded by Mr. Volenik. Motion approved by a 7-0 vote.

- C. 2019-2873: A request by American StructurePoint for review of a Concept Plan for Merchant's Retail for a Self-Indoor Storage Facility and Commercial Outparcel on 8.276 acres located on the north side of West Central Avenue between Fire Station 303 and Locust Curve Drive on property zoned B-1 (Neighborhood Business District).

Anticipated Process

a. Staff Presentation

Mr. Efland discussed the property location which is located on the north side of West Central Avenue just west of Fire station 303 and just east of Locust Curve Drive. The applicant is proposing to divide the site into two parcels that would include a self-storage facility on approximately 7.066 acres and a 1.21 acre commercial out parcel. The proposed development would have two access points with a right-in/right-out on West Central Avenue and a private shared service road that extends west from Lexington Boulevard thru the Fire Station 303 property to the subject site. Mr. Efland discussed the plan to have a self-storage indoor facility and two outdoor facilities. A security fence would surround the property. Mr. Efland discussed the recommended color scheme of beige/tan colors and the use of Delaware Blue Vein Limestone. Information was provided over the plans to preserve as many of the existing trees on the lot as possible and clarification was given regarding the access to the back drive to Fire Station 303.

Mr. Halter discussed if the access point on Central Avenue could be combined with the Fire Station 303. Ms. Fortman discussed the preference for the access to be separate to designate the access to the fire station to be for fire and EMS vehicles only. Ms. Fortman to speak with staff on the request for clarification.

b. Applicant Presentation

APPLICANT:

Shawn Goodwin
American StructurePoint

2550 Corporate Exchange Drive, Suite 300
Columbus, Ohio 43231

Mr. Goodwin discussed the Commissions opinion on the use of the parcel as a storage facility. Mr. Prall voiced his agreement to the use as a storage facility and recognized other uses that the property could be used for, such as a restaurant. Chairman Simpson discussed previous residents concerns when it was proposed to have a Dollar General on the property. He recommended that the applicant meet with the residents over the proposal for the input. Mr. Halter voiced his support of the project and that the use will not generate a lot of extra traffic. Chairman Simpson requested clarification if boats can be stored outside of the property. Mr. Goodwin discussed that there would not be room for outdoor storage of boats. Mr. Prall recommended establishing a tree preservation for the area of trees that are to be reserved. Mr. Goodwin discussed their goal to save as many trees as possible.

Mr. Efland discussed the recommended color scheme and that the next steps would be to complete a tree survey. The Commission was in favor of the applicant moving forward with an application with a Conditional Use with a Mixed Use PMU.

c. Public comment (not a public hearing)

There was no public participation.

d. No Action by Commission

ITEM 5. PLANNING DIRECTOR REPORT

ITEM 6. COMMISSION MEMBER COMMENTS AND DISCUSSION

Vice-Chairman Mantzoros discussed the Council Work Session that was held January 6, 2020 to discuss the US 23 Corridor.

Mr. Prall discussed the benefits to the meeting time starting at 6:30 p.m.

ITEM 7. NEXT REGULAR MEETING: February 5, 2020

ITEM 8. ADJOURNMENT:

Motion: Chairman Simpson moved for the Planning Commission meeting to adjourn. The meeting adjourned at 7:56 p.m.

Chairperson

Elaine McCloskey, Clerk



PLANNING COMMISSION / STAFF REPORT

CASE NUMBER: 2020-0010

REQUEST: Combined Preliminary & Final Development Plan

PROJECT: Glenwood Commons

MEETING DATE: February 5, 2020

APPLICANT/OWNER

K2 Development
30300 Telegraph Road, Suite 280
Bingham Farms, MI 48025

REQUEST

2020-0010: A request by K2 Development for approval of a Combined Preliminary and Final Development Plan at Glenwood Commons Shopping Center for an approximate 96,100 square foot Retail Building located at 1180 Sunbury Road and zoned B-3 PMU (Community Business District with a Planned Mixed-Use Overlay District) on approximately 14.198 acres.

PROPERTY LOCATION & DESCRIPTION

The approximate 14.198 acre site is located on the south side of US 36/37 between Mill Run Crossing and Glenn Road within the Glenwood Commons Shopping Center. Specifically, the site is the previously planned Home Depot site located between the Meijer's and Kohls. The subject site is zoned B-3 PMU (Community Business District with a Planned Mixed-Use Overlay District) as are the surrounding parcels within the Glenwood Commons Shopping Center.

BACKGROUND/PROPOSAL

In January 2007 City Council (Ordinance 06-142) approved a mixed-use commercial, office and residential rezoning for 150 acres which included Glenwood Commons Shopping Center. In 2013 City Council (Ordinance 01-13) approved a Zoning Amendment and Preliminary Development Plan for the Quail Pass apartment development. Since 2006 several big box buildings (Kohls, Meijer's, etc.) and a few outbuildings (Mattress Firm, Raising Cane, etc.), were constructed.

Now the developer is proposing to construct an approximate 96,100 square foot building that would include four tenants (Hobby Lobby, TJ Maxx, Ulta Beauty and Five Below) and one future tenant space (approximately 12,540 square feet) which could yield an approximate 108,640 square foot retail building that would be located between the Kohls and Meijer's on the former Home Depot site.

STAFF ANALYSIS

- **ZONING:** As previously mentioned, the zoning for the subject site is B-3 PMU. Under the current zoning, the proposed retail building is a permitted use. A Combined Preliminary and Final Development Plan approval of the application would be required by the Planning Commission and City Council. The future tenant space (approximately 12,540 square feet) is not included in this application and would require a separate Preliminary and Final Development Plan approval.
- **GENERAL ENGINEERING:** The Applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
- **ROADS AND ACCESS:** The roadway network, parking lot and utility infrastructure for Glenwood Commons Shopping Center was constructed in 2008 and the subject building (96,100 square foot) would be constructed between the Meijer's and Kohls. The rear of the building would be accessed from Mill Run Crossing from a roundabout where the loading docks, dumpsters and the like are located. Therefore, the access to the site would remain as currently constructed. Also, the parking lot would need to be seal coated, brought up to grade where needed and the parking spaces re-stripped per the engineering requirements.
- **SITE CONFIGURATION:** The applicant is proposing a 96,100 square foot building to be divided into a 55,000 square foot Hobby Lobby, an 8,500 square foot Five Below, an 10,500 square foot Ulta Beauty and 22,000 square foot TJ Maxx. The development area also allows for a 12,540 square foot future tenant space

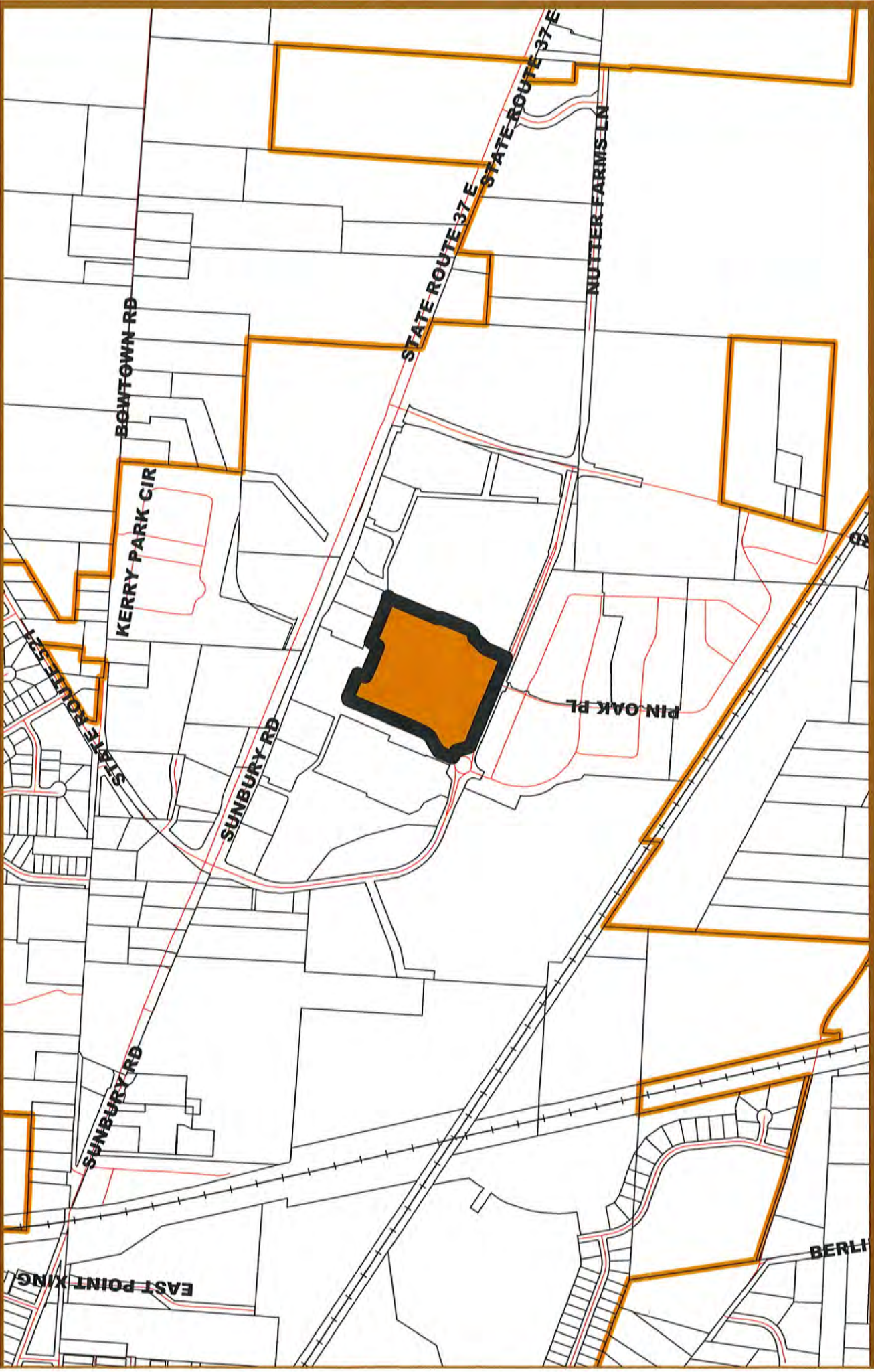
just east of TJ Maxx. As mentioned above, the roadway network, parking lots and utility infrastructure for Glenwood Commons was constructed in 2008 and the subject building would be constructed between the Meijer's and Kohls. The approved development text (Ordinance13-01) encourages shared parking of up to 30% with the adjacent uses and the parking requirements were approved with the in the original plan. There is a significant amount of additional parking just east and west of the site in the Kohls and Meijer's parking lot. Therefore, the existing parking spaces meet the parking requirements. The Hobby Lobby and TJ Maxx would have truck docks located to the rear of the building along with dumpsters for each use. The dumpster enclosures shall be constructed of brick or stone to match the building and have wood doors painted or stained to match. This will meet the design requirements of dumpster enclosures of the rest of the shopping center. Storm water would be detained in the Glenwood Commons regional detention basins which are already constructed.

- **TREE REMOVAL & REPLACEMENT:** There is not any qualifying trees (6 inches in caliper or larger) on the subject site that would be removed.
- **LANDSCAPING & SCREENING:** When Glenwood Commons Shopping Center was constructed, the shopping center developer installed street trees along US 36/37, interior parking lot landscaping and perimeter landscaping. The applicant would have to install foundation landscaping and replace any existing landscaping that may be removed during construction. Also, the existing interior parking lot trees, shrubs and mulch shall be upgraded and/or replaced to complement the new building.
- **LIGHTING:** The developer installed the appropriate light poles and fixtures in the parking lot that achieved compliance with the development text in 2008. The applicant is installing building lights along the south and west elevations per the submitted illumination plan. The City would have to ensure the revised lighting plan achieves compliance with approved development text and the zoning code.
- **SIGNAGE:** The developer had a Comprehensive Sign Plan for Glenwood Commons per the approved development text. The Comprehensive Sign Plan governs the use and application of all signage for the development. Each tenant shall be responsible to submit a sign permit that shall achieve compliance with the approved Comprehensive Sign Plan.
- **BUILDINGS:** The entire shopping center has design standards per the approved development of the existing buildings and shall be adhered to with any new building. The proposal for the front elevations of the buildings would be comprised of pre-cast concrete panel with embedded clay masonry units that would be desert ironspot light color while the sides and rear of the building would be pre-cast concrete panel form liner with brick the texture that would be the same desert ironspot light color (see attached examples of Edicott thin brick and Versa-Brix). In general, the proposed building achieves compliance with the design requirements except for the following critical design elements that need to be amended: 1. The wainscoting and pilasters (columns) on the buildings shall be a Delaware blue vein limestone or equivalent as approved by staff instead of the proposed Golden Buckeye color; 2. The decorative EIFS cornice with metal coping on the Hobby Lobby building shall be extended in at least a "stepped" cornice form to the TJ Maxx, Ulta Beauty and Five Below buildings; 3. The western elevation of the Hobby Lobby building shall be upgraded to pre-cast concrete panel with embedded clay masonry with wainscoting and pilasters to better match the adjacent Office Depot design which is adjacent to the public drive aisle coming out of the roundabout on Mill Run Crossing; 4. The EIFS of the TJ Maxx shall be revised from the proposed China White color to a beige color to match the other buildings and conform with plan requirements of the center (Home Depot had a non-white EIFS accents for example despite their corporate colors being orange and white). Also, the amount of the EIFS material shall be reduced to be in better scale with the other developments (other buildings in the development utilized integral brick or the equivalent to the reduce the amount of EFIS around the sign area); 5. The eastern side elevation of TJ Maxx shall be pre-cast concrete panel with embedded clay masonry units that would be desert ironspot light color to match the front of the building. In addition, all roof top mechanical equipment shall be screened from public view. All building appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building color.

STAFF RECOMMENDATION (2020-0010 – COMBINED PRELIMINARY & FINAL DEVELOPMENT PLAN)

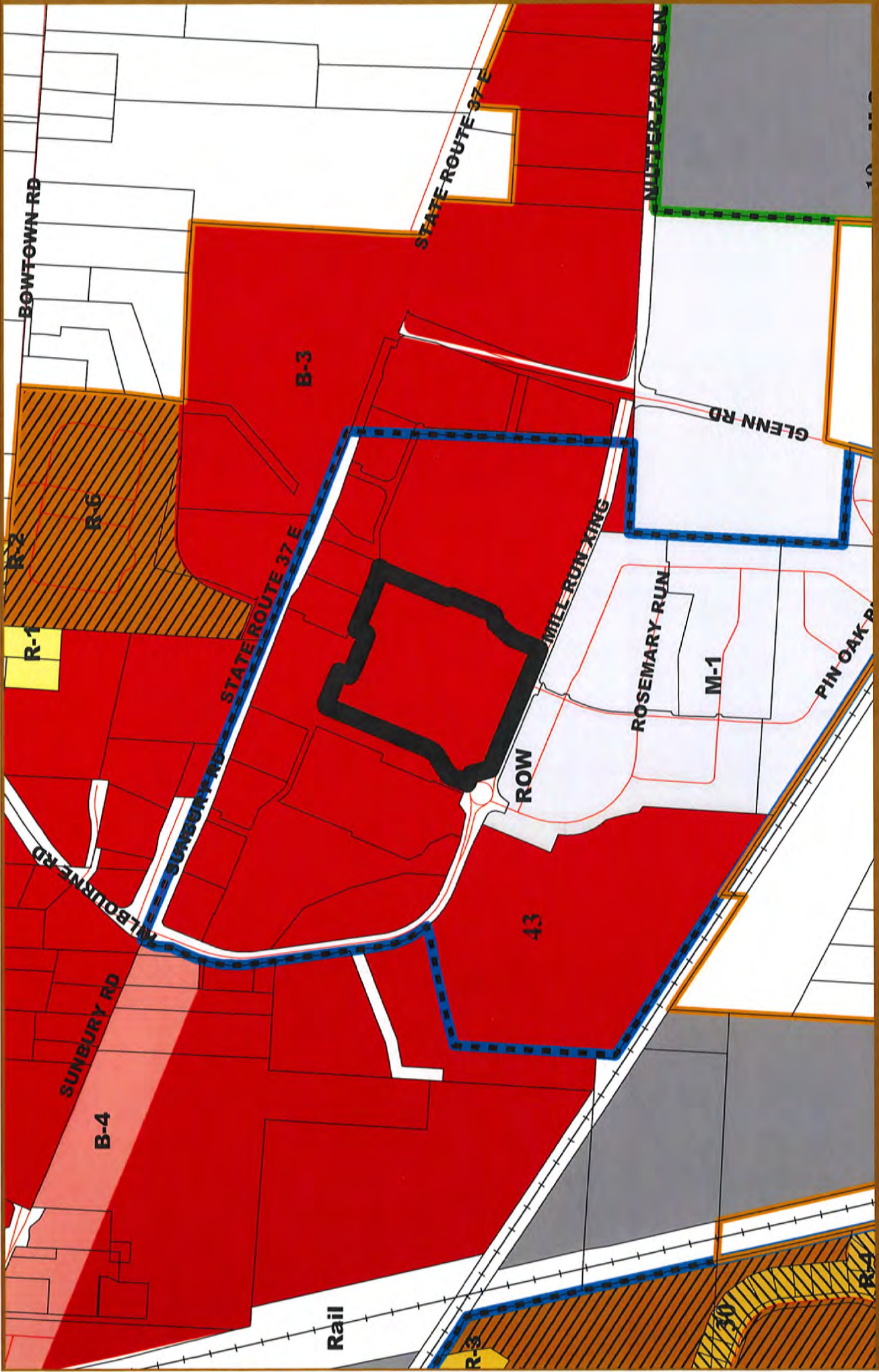
Staff recommends approval of a request by K2 Development for a Combined Preliminary and Final Development Plan at Glenwood Commons Shopping Center for an approximate 96,100 square foot Retail Building located at 1180 Sunbury Road and zoned B-3 PMU (Community Business District with a Planned Mixed-Use Overlay District) on approximately 14.198 acres, with the following conditions that:

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. The parking lot shall need to be seal coated, brought up to grade where needed and the parking spaces re-stripped per the engineering requirements.
3. The wainscoting and pilasters (columns) on the building shall be Delaware blue vein limestone or equivalent instead of the proposed golden buckeye limestone.
4. The decorative EIFS cornice with metal coping on the Hobby Lobby Building shall be extended in at least a “stepped” cornice form to the TJ Maxx, Ulta Beauty and Five Below Buildings.
5. The western elevation of the Hobby Lobby building shall be upgraded to pre-cast concrete panels with embedded clay masonry with wainscoting and pilasters that would be Delaware blue vein or equivalent in color.
6. The EIFS on the TJ Maxx building shall be revised from the proposed China White color to a beige color to match the other buildings. Also, the amount of the EIFS material shall be reduced to be in better scale with the other buildings.
7. The eastern side elevation of TJ Maxx shall be pre-cast concrete panel with embedded clay masonry units that would be dessert ironspot light color to match the front elevation.
8. All building appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building color.
9. All roof top mechanical equipment shall be screened from public view.
10. The applicant shall submit all building elevations along with material and color samples for all buildings for staff review and approval.
11. The dumpster enclosure(s) shall be constructed of brick or stone to match the building and have wood doors painted or stained to match.
12. The lighting plan shall be reviewed and approved by the City and all lighting shall meet the requirements of the approved development text and the current zoning code.
13. The existing interior parking lot trees, shrubs and mulch shall be upgraded and/or replaced to complement the new building.
14. Each tenant shall be responsible to submit a sign permit that shall achieve compliance with the approved Comprehensive Sign Plan and the current zoning code.
15. The future tenant space is not included in this application and shall require a separate Preliminary and Final Development Plan approval.



2020-0010
 Combined Preliminary and Final Development Plan
 Glenwood Commons Shopping Center - 1180 Sunbury Road
 Location Map





2020-0010
 Combined Preliminary and Final Development Plan
 Glenwood Commons Shopping Center - 1180 Sunbury Road
 Zoning Map





2020-0010
Combined Preliminary and Final Development Plan
Glenwood Commons Shopping Center - 1180 Sunbury Road
Aerial (2016) Map



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DATE: _____
 REVISIONS: _____

DESCRIPTION: _____
 DEVELOPMENT: AN ELEMENTAL CONCEPT

DESIGNED BY: MICHAEL E NEIKIRK PE
 308 North Market Street, Suite 101
 Columbus, Ohio 43215
 Phone: (614) 233-1100
 mneikirk@herrick.com

SCALE: NTS
 DRAWN BY: RM
 CHECKED BY: TIL
 DESIGNED BY: MEN
 PROJECT NO: 12-00000000
 DRAWING NO: 12-00000000-000

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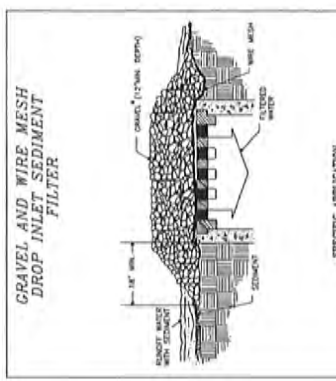
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 308 North Market Street, Suite 101
 Columbus, Ohio 43215
 Phone: (614) 233-1100
 mneikirk@herrick.com

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF A NEW MAINTENANCE BUILDING, WITH THE CONSTRUCTION OF THE BUILDING, NEW ASPHALT AND UTILITIES SHALL BE INSTALLED.

EXISTING SITE

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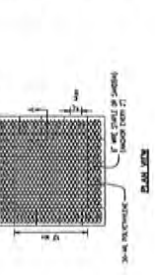


SPECIFIC APPLICATION

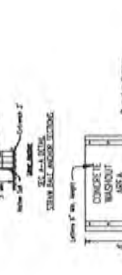
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PLATE 3.01-2

WASHOUT FACILITY - STRAW BALE



TEMPORARY FACILITY - CONCRETE



TEMPORARY FACILITY - SOIL BALE



PERIMETER GEOTEXTILE FABRIC FENCE



NOTES

1. The geotextile fabric shall be installed in a continuous line around the perimeter of the site. The geotextile fabric shall be installed in a continuous line around the perimeter of the site. The geotextile fabric shall be installed in a continuous line around the perimeter of the site.

INLET PROTECTION



NOTES

1. The inlet protection shall be installed in a continuous line around the perimeter of the site. The inlet protection shall be installed in a continuous line around the perimeter of the site. The inlet protection shall be installed in a continuous line around the perimeter of the site.



Site Plan - Maintenance Building

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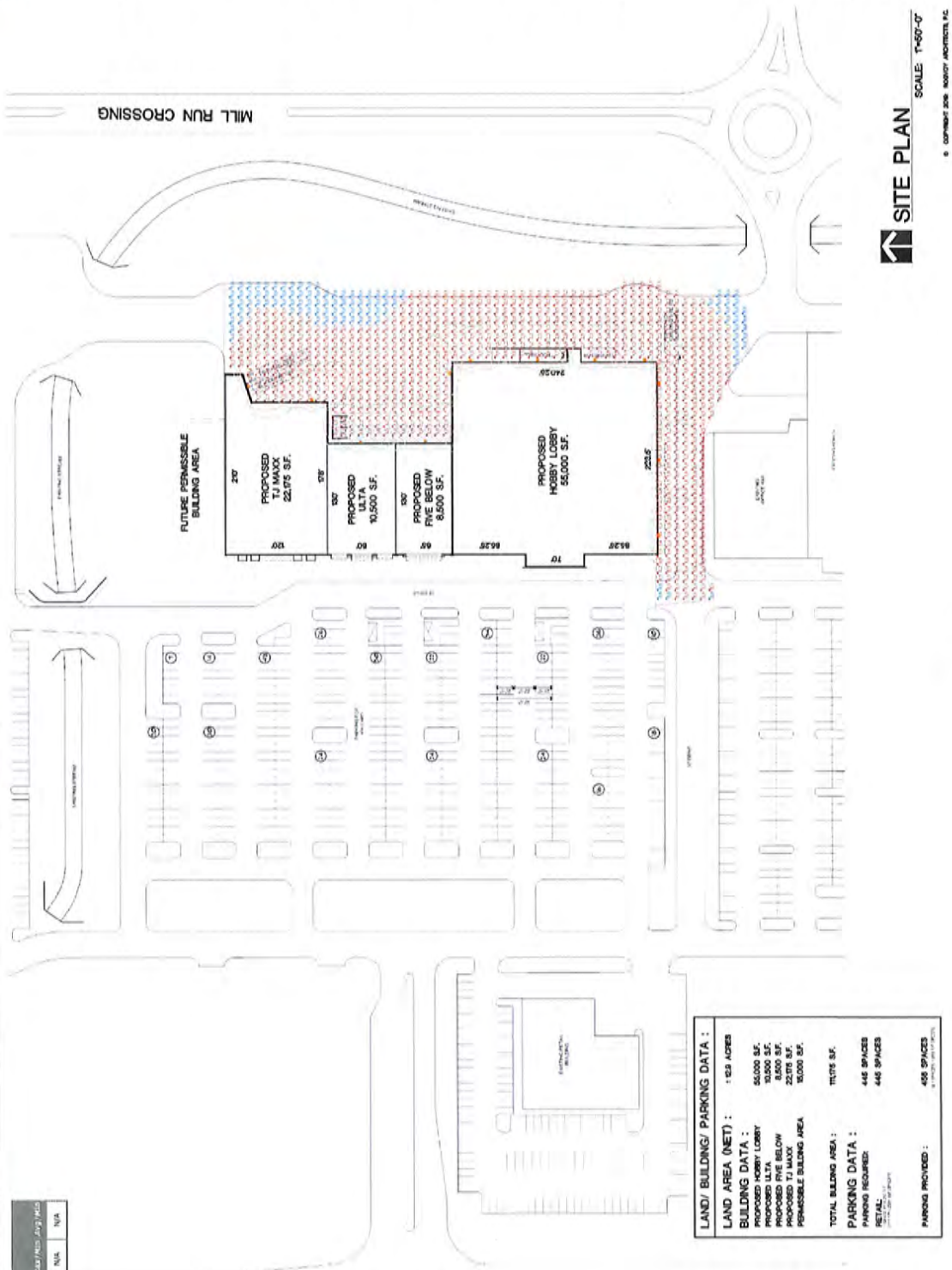
Project

Proposed
Commercial Development
Sunbury Road and Mill Run Crossing
Sunbury, Delaware, Ohio

ROGVOIJ
ARCHITECTS
3000 TULLAMORE ROAD
SUITE 200
MILLSBORO, DE 19966
TEL: 302.398.1000
WWW.ROGVOIJ.COM

Drawing
Conceptual Site Plan
19027-SP-1
Issue Date: 12 JUL 2019
Created: 12 JUL 2019
Checked: MJD
Approved: MJD
In number: 19027
Block

SP-1



SITE PLAN
SCALE: 1"=50'-0"
© COPYRIGHT 2019 ROGVOIJ ARCHITECTS, P.C.

Scale: 1"=50'

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[Symbol]	WEG	Water	[Symbol]	WEG	Water	[Symbol]	WEG	Water	[Symbol]	WEG	Water
[Symbol]	WEG	Water	[Symbol]	WEG	Water	[Symbol]	WEG	Water	[Symbol]	WEG	Water
[Symbol]	WEG	Water	[Symbol]	WEG	Water	[Symbol]	WEG	Water	[Symbol]	WEG	Water

STATISTICS

Category	Symbol	Aug	Max	Min	Max (Feet)	Aug (Feet)	Min (Feet)
WEG Lighting	[Symbol]	0.0	0.0	0.0	0.0	0.0	0.0
WEG	[Symbol]	0.0	0.0	0.0	0.0	0.0	0.0

LAND/ BUILDING/ PARKING DATA :

LAND AREA (NET) :	1.53 ACRES
BUILDING DATA :	
PROPOSED T1 MAX	22,875 SF
PROPOSED ULTA	10,500 SF
PROPOSED FIVE BELOW	22,875 SF
PROPOSED HOBBY LOBBY	55,000 SF
PERMISSIBLE BUILDING AREA	100,000 SF
TOTAL BUILDING AREA :	111,250 SF
PARKING DATA :	
PARKING REQUIRED:	446 SPACES
RETAIL	446 SPACES
PARKING PROVIDED :	450 SPACES

ORDERING GUIDE

GENERAL INFORMATION

Model #	19027
Color	White
Material	Aluminum
Finish	White
Weight	1.5 lbs
Dimensions (H x W x D)	12 x 12 x 12

ACCESSORIES AND SERVICES (ORDERED SEPARATELY)

Item #	Description
1	...
2	...
3	...
4	...
5	...
6	...
7	...
8	...
9	...
10	...

INSTALLATION INSTRUCTIONS

1. Mounting Surface: The fixture is designed for surface or recessed installation. Ensure the mounting surface is flat and clean.

2. Mounting Hardware: Use the provided mounting hardware. Tighten the screws to the specified torque.

3. Electrical Connections: Connect the fixture to the power source according to the wiring diagram. Ensure all connections are secure and insulated.

4. Testing: After installation, test the fixture to ensure it is operating correctly.

FEATURES

- Energy Efficient: LED technology for long life and low power consumption.
- Dimmable: Compatible with standard dimmers.
- Adjustable: Adjustable beam angle for focused or ambient lighting.
- Easy Installation: Simple mounting hardware for quick installation.
- Durable: High-quality materials for long-lasting performance.

CONTROL TECHNOLOGY

WISCAPE
 WISCAPE
 WISCAPE

SPECIFICATIONS

GENERAL INFORMATION

- Model: 19027
- Color: White
- Material: Aluminum
- Finish: White
- Weight: 1.5 lbs
- Dimensions: 12 x 12 x 12

TECHNICAL SPECIFICATIONS

Item #	Description	Value
1	Power (W)	10W
2	Voltage (V)	120V
3	Current (A)	0.83A
4	Beam Angle (°)	30°
5	Mounting Type	Surface/Recessed
6	Material	Aluminum
7	Finish	White
8	Weight (lbs)	1.5
9	Dimensions (H x W x D)	12 x 12 x 12
10	Life Span (hrs)	50,000

PROPOSED DEVELOPMENT GLENWOOD COMMONS DELAWARE, OHIO

COMPREHENSIVE SIGN TEXT

PURPOSE

The purpose of this document is to define enforceable standards for governing the use and application of signs for the Glennwood Commons Shopping Center.

These standards are intended to:

- Enhance and protect the economy and physical appearance of the community.
- Promote and maintain a visually attractive high value retail center.
- Promote the effective use of signs as a means of communication to both pedestrian and vehicular traffic within the center itself and on adjacent roadways.
- Reduce any adverse effects on adjacent public and/or private property and to improve pedestrian and traffic safety.
- Prohibit all signs not expressly permitted within this document.
- Conformance with Zoning Code and Approved Development Text.
- Unless noted otherwise in this sign text, all signs shall conform to the then current requirements of the Zoning Code and Development Text for the property. All signs and modifications thereof must obtain approval of a sign permit prior to the installation of any sign.

PERMIT REQUIRED

No sign, including any temporary sign, shall be placed or erected without first obtaining approval of a sign and other applicable permits from the City of Delaware.

MAIN IDENTIFICATION SIGN

There will be two freestanding Main ID signs at the center. Effective position, height, illumination, design and square footage of the Main ID signs are as proposed and shall not be modified except as approved by the City of Delaware. The Main ID signs will be allowed internal illumination. Two Main ID signs at each right in/right out entry drives along US36/SR37 as proposed.

CENTER IDENTIFICATION SIGNS

The primary purpose of this sign shall be identification of the shopping center "Glennwood Commons", this sign will consist of a freestanding monument. Effective position, height, illumination, design and square footage of the Center ID sign is as proposed and shall not be modified except as approved by the City of Delaware. One Center ID sign located within the median at the main signalized entry drive along US36/SR37 as proposed.

DIRECTIONAL SIGNS

Directional Signs shall include the shopping center name as well as tenant names and directional arrows, but shall not include any commercial message or tenant logos. Effective position, height, illumination, design and square footage of the Directional signs are as approved in the Final Development Plan and shall not be modified except as approved by the City of Delaware. Provision of directional signs are at Owner's discretion and will be in accordance with design parameters unless otherwise modified with approval by the City of Delaware.

OUTPARCEL SIGNS

Each outparcel will realize a sign package as outlined below:

- Signs shall be of a design consistent with the aesthetics of the shopping center.
- These signs will enhance and promote safe traffic flow in and around the outparcel.
- Under no circumstances shall they interfere with the line of sight of vehicular traffic either exiting or entering the drive.
- Freestanding signs are not permitted.
- Tenants will be allowed up to a total of two wall signs as follows. One (1) per frontage of a public or private street with the sq. ft. area to be as defined in the Wall Sign section of this document.

TEMPORARY SIGNS

- Window Signs. Temporary window signs include any sign other than the name and/or logo of the business and shall not exceed twenty percent (20%) of the window in which the sign(s) is located, inclusive of any other signs. No temporary window sign shall be located at or above the door height. No signs shall be placed in any spandrel glass. For the purposes of this section, window area shall be determined measuring frame to frame (NOTE: shall not include the gross window area of the storefront).
- Banners. Banners as defined in the then current City of Delaware Zoning Code shall only be authorized during the initial grand opening of the business for a seven (7) day period commencing on the day the business opens to the public.
- Free-standing Signs. Temporary free-standing signs are prohibited.
- Real Estate Signs. Real estate signs shall be located in the window(s) of the premises that are for sale or lease.

PERMANENT WINDOW SIGNS

Permanent window signs include store names and logos and are permitted to be placed on storefront windows or doors. Only one such permanent window sign shall be permitted per storefront, shall not exceed four (4) inches in height, and must have a gold-leaf, silver-leaf, or etched glass appearance. Such signs shall not exceed twenty percent (20%) of the window in which the sign(s) is located, inclusive of any other signs. No signs shall be placed in any spandrel glass. For the purposes of this section, window area shall be determined measuring from frame to frame and shall not include the total window area of the storefront.

RESTAURANT MENU SIGNS

Menu signs shall be constructed and installed in accordance with the then current City of Delaware Zoning Code.

AWNING GRAPHICS

Awning graphics are not permitted.

**PROPOSED DEVELOPMENT
GLENWOOD COMMONS
DELAWARE, OHIO
COMPREHENSIVE SIGN TEXT**

WALL SIGNS

Wall signs will be realized through a combination of internally and externally illuminated channel letters and dimensional graphic elements.

Standards

- (a) The advertising or informative content of all wall signs shall be limited to letters designating the store name or type of store only and shall not contain advertising devices, slogans, symbols or marks unless they are part of the company's logo or trademark and fit within the confines of the tenant criteria. No websites or phone numbers will be allowed unless they are part of a company's registered trademark.
- (b) One wall sign per Tenant will be allowed except as noted in tenant criteria section below.
- (c) All wall signs are to be flush mounted directly to building. Wall signs mounted on raceways will not be allowed.
- (d) Two lines of text are allowable within the confines of the tenant criteria and specifications.
- (e) All signs shall be fabricated and installed in compliance with all applicable building and electrical codes, bear a certified UL label, and carry a full one-year warranty.
- (f) Signage shall be constructed of suitable materials for weather exposure and shall conform to all applicable limitations set forth in this document. Landlord shall designate the sign company to install such signs if a conflict should arise.

WALL SIGNS (cont)

Tenant Criteria

- (a) All signage requests will need to be submitted to landlord and subject to landlord approval prior to submitting to the City.
- (b) Tenants will realize their wall signs using internally illuminated face-lit channel letters or externally illuminated and reverse channel letter (halo glow) lighting, which the latter is preferred by the City of Delaware.
- (c) All signs on the exterior portions of the demised premises of the tenant's space may be located only as designated by Landlord in the sign band (with the exception of supplemental signs). Each storefront has a designated sign band as shown on the exterior elevations. The sign band is defined as the storefront area that could receive a sign. Each storefront space will be allowed 100% of the storefront sign band height and width as depicted on the attached elevations. Unless authorized by the City of Delaware no modifications shall be made to the approved sign band size or location and only one (1) wall sign is permitted for each storefront space. The sign band for each outparcel shall be determined with the approval of the Final Development Plan for each outparcel.
- (d) Supplemental Wall Signs:
 - (1) Tenants having occupancies of 100,000 sq. ft. or greater with multiple public entrances and/or designated separate entrances shall be allowed supplemental wall signs over those entrances as proposed (i.e., Home Improvement - Lumber). Letter height on supplemental wall signage will not exceed 36" and shall be subject to the approval of the City of Delaware.
 - (2) One supplemental exterior wall sign will be allowed for each individual sublet licensee business located inside a major anchor, consisting of the 100,000 sq. ft. or greater, and no more than three such signs.

GLENWOOD COMMONS
DELAWARE

PROPOSED DEVELOPMENT GLENNWOOD COMMONS DELAWARE, OHIO

COMPREHENSIVE SIGN TEXT

EXEMPT SIGNS

Traffic Directionals

All traffic directional signs (stop, yield, no parking, loading zone, handicap parking, fire zone, etc.)

Incidental Signs

Signs that are incidental provided that they contain no commercial message and do not exceed two square feet in area. Examples of these are "ATM", "enter", "exit", restroom identification signs, etc. as approved by the City of Delaware.

Official Signs

Any official or public notice or warning required by a valid and applicable federal, state, or local law, regulation or ordinance, by a public utility company or by order of a court of competent jurisdiction.

Window Signs

Window signs indicating hours of operation may be mounted on the entry door or the window immediately adjacent to the entry door. They must encompass an area no larger than two square feet and be etched glass, gold leaf, or silver leaf in appearance.

Address Signs

Uniform "address" numbers for each tenant above the front entry door(s) and the rear service door. Address numbers on the front shall be centered above the entry door(s) and shall be standardized at 6" high 10'-0" off the bottom of the door located within the transom, positively cut in white "Helvetica Medium" vinyl. Signage on the back service doors shall be standardized at 6" high, 5'-0" off the bottom of the door, positively cut in white "Helvetica Medium" vinyl, and list the name and address of the store only.

Interior Signs

Any sign inside a building, not attached to a window or door that is not visible to a person of ordinary eyesight from outside the premises.

Art and Decorations

Works of art and holiday decorations with no commercial message regardless of illumination and/or animation as long as they don't interfere with safety or visibility subject to Landlord approval.

PROHIBITED SIGNS

Official Signs

Any sign that copies or imitates an official sign or purports to have official status and does not.

Border Lighting

Any illuminated tubing or string of lights, including but not limited to those outlining property lines, open sales areas, rooflines, doors, windows, landscaping, or the edges of walls (excepting holiday lighting).

Permanent Contractor Advertising

The name and/or stamp of the sign contractor or sign company or both.

Exposed Lighting

Exposed neon or fluorescent lamps. The exception to this is outparcel tenants may be allowed exposed neon as part of a nationally recognized sign program.

Obscene Signs

Any sign containing obscene material.

Changeable Copy Signs

Changeable copy signs are not allowed except for gas pricing as proposed and approved by the City of Delaware.

Beacons

Any lighting that is not complementary to the aesthetics of the center or light Beacons.

Pennants and Streamers

Pennants, banners, flags or streamers (except as provided for in this text).

Flags

No flag may be used for commercial advertising including "open" and other descriptive flags.

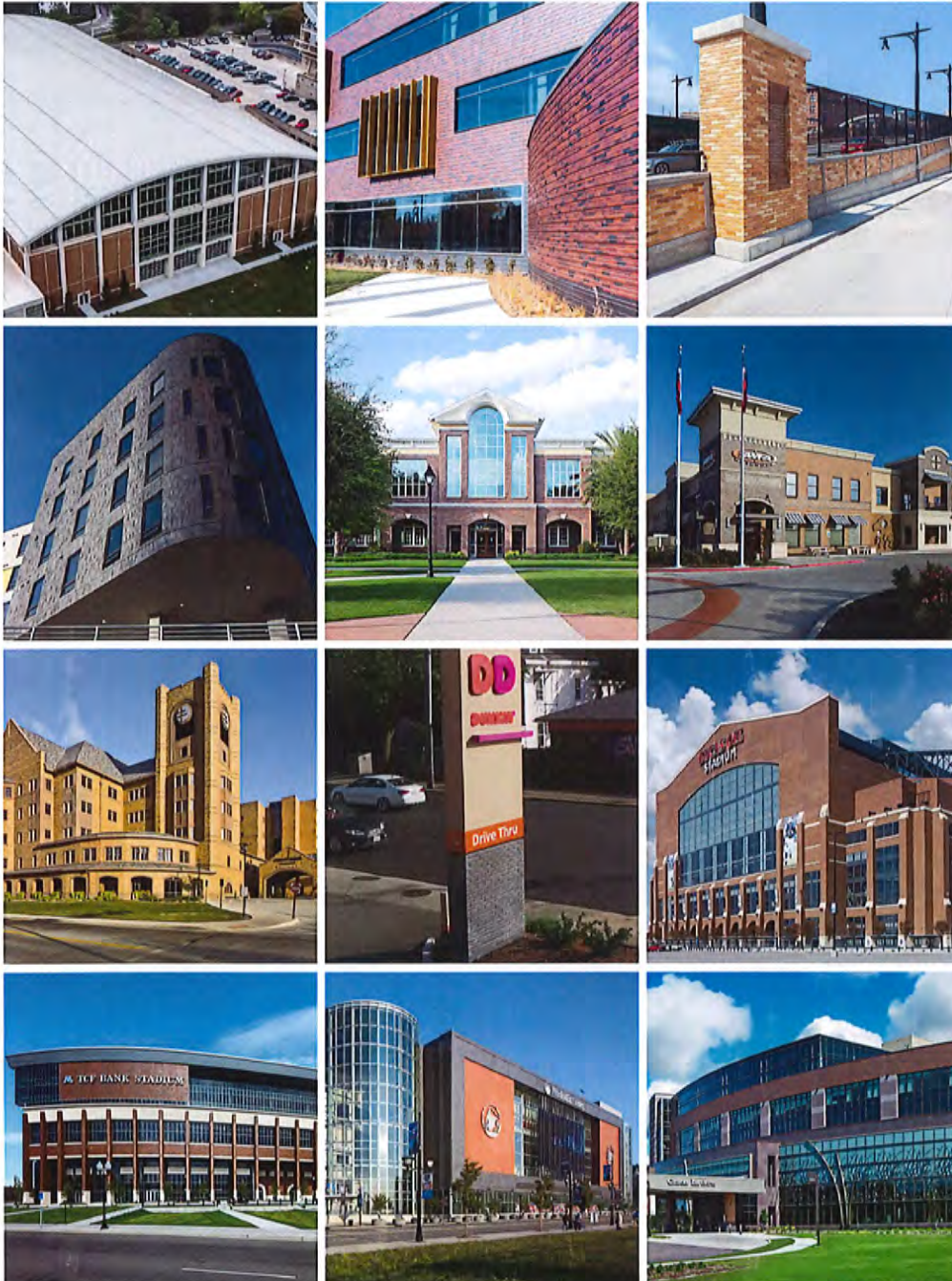
FRONT ELEVATION BUILDING MATERIAL EXAMPLES



[Projects](#) [Face Brick](#) [Thin Brick](#) [Pavers](#) [Tile](#) [Resources](#) [About](#) [Careers/Carrera](#)

PROJECTS -THIN BRICK

FILTER



SIDE AND REAR ELEVATION BUILDING MATERIAL EXAMPLE

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Target

[Previous Project](#) [Next Project](#)



Product Used: [Versa-Brix®-S](#)



Location: Speedway, KS
Architect: [KKE Architets](#)
Precaster: [Fabcon](#)
Completed: 2006

[< Previous Photo](#)[Next Photo >](#)



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**CITY OF DELAWARE, OHIO
PLANNING & COMMUNITY DEVELOPMENT
MASTER APPLICATION FORM**



Project # _____ Case # _____

Planning Commission

- | | | |
|---|---|---|
| <input type="checkbox"/> Amended Final Development Plan | <input type="checkbox"/> Final Development Plan Extension | <input type="checkbox"/> Substitution of a Non-Conforming Use |
| <input type="checkbox"/> Amended Final Subdivision Plat | <input type="checkbox"/> Final Subdivision Plat | <input type="checkbox"/> Vacation-Alley |
| <input type="checkbox"/> Amended Preliminary Development Plan | <input type="checkbox"/> Final Subdivision Plat Extension | <input type="checkbox"/> Vacation-Easement |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat | <input type="checkbox"/> Floodplain Permit | <input type="checkbox"/> Vacation-Street |
| <input type="checkbox"/> Annexation Review | <input type="checkbox"/> Lot Split | Board of Zoning Appeals |
| <input checked="" type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement | <input type="checkbox"/> Appeal Administrative Decision or Interpretation |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Preliminary Development Plan | <input type="checkbox"/> Conditional Use Permit |
| <input type="checkbox"/> Concept Plan | <input type="checkbox"/> Preliminary Dev Plan Extension | <input type="checkbox"/> Substitution of Equal or Less Non-Conforming Use |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Preliminary Sub Plat | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Determination of Similar Use | <input type="checkbox"/> Preliminary Sub Plat Extension | |
| <input type="checkbox"/> Development Plan Exemption | <input type="checkbox"/> Rezoning | |
| <input type="checkbox"/> Final Development Plan | <input type="checkbox"/> Subdivision Variance | |

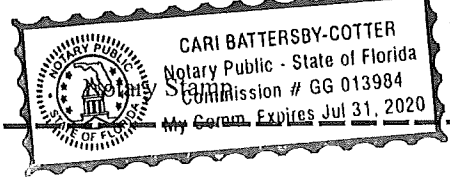
Subdivision/Project Name K2 Development - Delaware, OH Address 1180 Sunbury Rd, Delaware, OH
 Acreage 14.198 Square Footage 618,489 Number of Lots 1 Number of Units 4 retail tenants
 Zoning District/Land Use B-3 Proposed Zoning/Land Use B-3 Parcel # 51944404010000

Applicant Name K2 Retail Development, LLC Contact Person Kris Krstovski
 Applicant Address 30300 Telegraph Road, Suite #280, Bingham Farms, MI 48025
 Phone 248-859-2817 Fax _____ E-mail krisk@k-squaredinc.com
 Owner Name K2 Retail Delaware, LLC Contact Person Kris Krstovski
 Owner Address 30300 Telegraph Road, Suite #280, Bingham Farms, MI 48025
 Phone 248-859-2817 Fax _____ E-mail krisk@k-squaredinc.com
 Engineer/Architect/Attorney Michael E. Neikirk Contact Person Tiffany Lehman
 Address 306 North Market Street, Suite 101
 Phone 618-263-4100 Fax _____ E-mail tlehman@neikirk.us

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

[Signature] Owner Signature Kris Krstovski Owner Printed Name
 _____ Agent Signature _____ Agent Printed Name

Sworn to before me and subscribed in my presence this 31st day of December, 2019.



[Signature] Notary Public

CASE NUMBER: 2020-0035

REQUEST: Preliminary Development Plan

PROJECT: Delaware General Health District

MEETING DATE: February 5, 2020

APPLICANT/OWNER

Delaware County General Health District
30 North Franklin Street
Delaware, Ohio 43015

REQUEST

2020-0035: A request by the Delaware General Health District for approval of a Preliminary Development Plan for a New Office Building at 470 South Sandusky Street on approximately 9.4 acres on property zoned PO/I (Planned Office/Institutional District).

PROPERTY LOCATION & DESCRIPTION

The subject 9.4-acre site is located on the west side of South Sandusky Street between English Terrace and Birch Bend at 470 South Sandusky Street. The subject site is zoned PO/I (Planned Office Institutional District) while the properties to the north and west are zoned R-3 (One-Family Residential District), the properties to the south are zoned R-3 and PO/I and the properties to the east are zoned B-3 (Community Business District).

BACKGROUND/PROPOSAL

In 2019, the Delaware General Health District purchased the property from Yogi Divine. This site was the former Leroy Jenkins property. The City razed the main Yogi Divine building in 2014 utilizing Moving Ohio Forward Grant money from the Ohio Attorney General's Office but the existing house on the western portion of the site was not razed.

The General Health District is moving from their current offices in downtown Delaware and are constructing a 30,000 square foot office building with the potential to expand by 10,000 square feet to accommodate their main offices at this location. The development would utilize the northern most existing curb cut on South Sandusky Street that would extend into a 214-space parking located east and west of the proposed building which is located in the center of the linear site. An emergency only access curb cut is located on Magnolia Drive at the western portion of the site. The existing house located on the western portion of the site would remain and be utilized for storage. A detention basin is located just south of the proposed building.

STAFF ANALYSIS

- **COMPREHENSIVE PLAN:** The Comprehensive Plan Future Land Use Map recommends a future land use of Institutional for the subject site in the Stratford Sub-Area which is consistent with proposed institutional use.
- **ZONING:** As previously mentioned, the zoning for the subject site is PO/I which permits an office use in this zoning district. The subject office use would require Preliminary and Final Development Plan approval by the Planning Commission and City Council.
- **GENERAL ENGINEERING:** The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
- **ROADS AND ACCESS:** The new office building would utilize the existing northernmost curb cut from South Sandusky Street to access the development while the southernmost curb cut would be eliminated. An emergency only curb cut with a gravel driveway (approved by the Fire Department) would extend from Magnolia Drive on the western portion of the site into the development. Bollards (as approved by the Fire Department) would separate the emergency access drive from Magnolia Drive. Between the two aforementioned curb cuts is a 214-space parking lot that would provide access to three sides of office building. No traffic improvements would be required per the City Engineer. Ultimately, the entire development would have to achieve compliance with the minimum engineering, public works and fire department requirements.

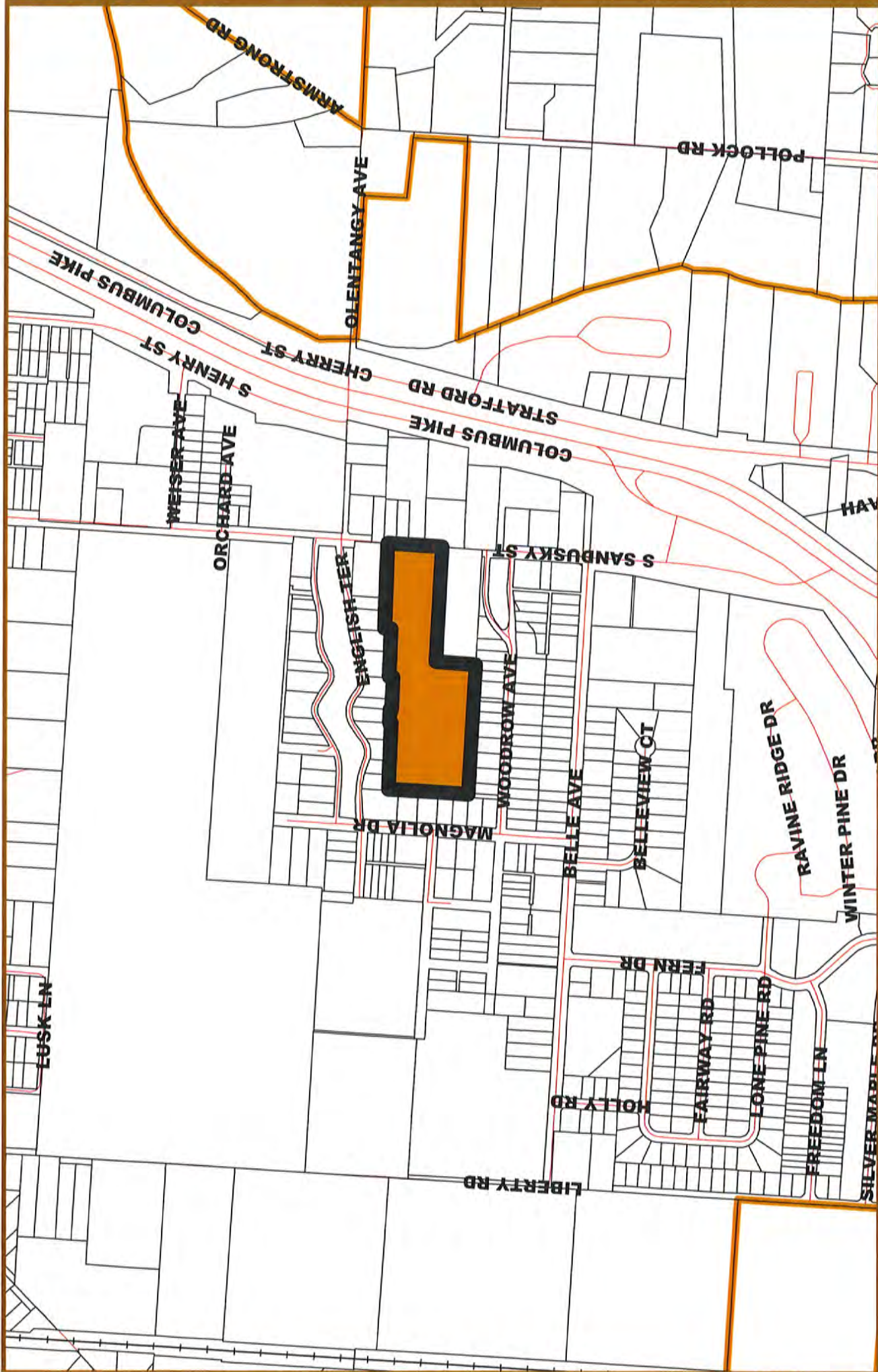
- **PEDESTRIAN CONNECTIVITY:** There is not any proposed bike path in this area per the adopted Bicycle and Pedestrian Master Plan 2017. However, there is an existing sidewalk along the frontage of the subject site along South Sandusky Street that would have to be maintained.
- **SITE CONFIGURATION:** The proposed one story 30,000 square foot office building is located in the center of the linear 9.4 acres site with the main access to the site from South Sandusky Street and an emergency access only curb cut on Magnolia Drive. The main entrance into the building is on the east elevation while there are secondary entrances on the north and west elevations. The plans identify a future 10,000 square foot expansion on the southwestern portion of the proposed building. The site would have 214 parking spaces (while only 150 parking spaces are required for an office use) with public spaces located east of the building and employee and fleet vehicle spaces to the west of the building. The existing house just west of the proposed building would remain and be utilized as storage. The existing house would have to achieve compliance with the Ohio Building Code to be utilized for storage. Currently the house is approved for a residential use only from a building code perspective. A dumpster and associated enclosure are located just west of the building. The dumpster and associated enclosure shall be enclosed by a brick or stone wall that matches the building with wood doors painted or stained to match. A detention basin is located just south of the building. Along the northern property and western property lines are a hodgepodge of chain link and privacy fences that has been constructed by each owner over time.
- **LANDSCAPING & SCREENING:** The applicant would be required to provide a comprehensive landscape plan that would include street trees, front yard trees, interior parking lot landscaping, foundation landscaping and perimeter buffering. There are existing street trees along South Sandusky Street that would need to be maintained or replaced while shade trees would also be required to be planted in this area. Per the zoning code, perimeter buffering would be required where the site abuts single family residential houses to the north, west and south. The buffering shall be a dense landscaping of trees and/or shrubs that forms a solid, continuous visual screen within 3 years of installation or a non-living opaque structure such as a wall or solid fence that is compatible with the principal structure. The exact type and location of all landscaping requirements shall be determined during the Final Development Plan approval process. All landscaping plans shall be reviewed and approved by the Shade Tree Commission.
- **TREE REMOVAL & REPLACEMENT:** There appears to be some qualified trees (6 inches in caliper or larger) scattered throughout the site that may be removed during construction. The applicant shall provide a tree survey for the entire site that documents the type, number and caliper inches of trees that would be removed and preserved. The Final Development Plan would need to identify which trees are being preserved and eliminated and any removal and replacement would need to achieve compliance with Chapter 1168 Tree Preservation Requirements.
- **GATEWAYS & CORRIDORS PLAN:** Any proposed signage would need to be documented during the Final Development Plan approval process. Also, any monument signage shall achieve compliance with the minimum zoning requirements and the adopted Gateways & Corridors Plan.
- **LIGHTING:** The applicant provided a lighting plan that identifies 11 light poles throughout the parking lot that would be 20 feet high with cut off style light fixtures. All the light poles would be required to be black. Also, they are also identifying lighting on the building. All lighting plans would need to be submitted, reviewed and approved by the City that achieves compliance with the minimum zoning requirements.
- **BUILDING DESIGN:** The owner is proposing a one-story 30,000 square foot modern style building with a shed roof that extends into a gable style appearance. The main entrance would be on the east elevation fronting South Sandusky Street. The main entrance would have aluminum storefront double doors and window system with an expanse of windows above the main entrance. The east (front) and north elevation would have a Delaware blue vein wainscoting while the walls of the entire building would be comprised of tan vertical metal panels. The shed roof would be pitched from north to south to create an aesthetic entrance design feature. The front elevation would have several bays off windows to provide light for the office uses. The north elevation would have a secondary entrance with a canopy for vehicles near the rear of the building with several bays of window along the eastern portion of the elevation. The south elevation would have a secondary entrance with a large expanse of glass bookended by a bay of windows to provide an abundance of natural light on this elevation. The western elevation would service as the of rear of the building from a function perspective and have an overhead door, man doors and windows. The pitched roof would be

comprised of metal with several skylights to provide natural light to the entire building. The mechanical equipment on the roof appears to be screened from public view by louvers. The unique modern architecture design appears to provide an abundance of natural light to the office use and appears to achieve compliance the City design guidelines for this intuitional use. All building appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building color. Also, the applicant shall submit all building elevations along with material and color samples for all building materials for staff review and approval. Overall, staff is very supportive of this use on this site which would continue the South Sandusky Street rejuvenation and provide an anchor institution to the area.

STAFF RECOMMENDATION (2020-0035– PRELIMINARY DEVELOPMENT PLAN)

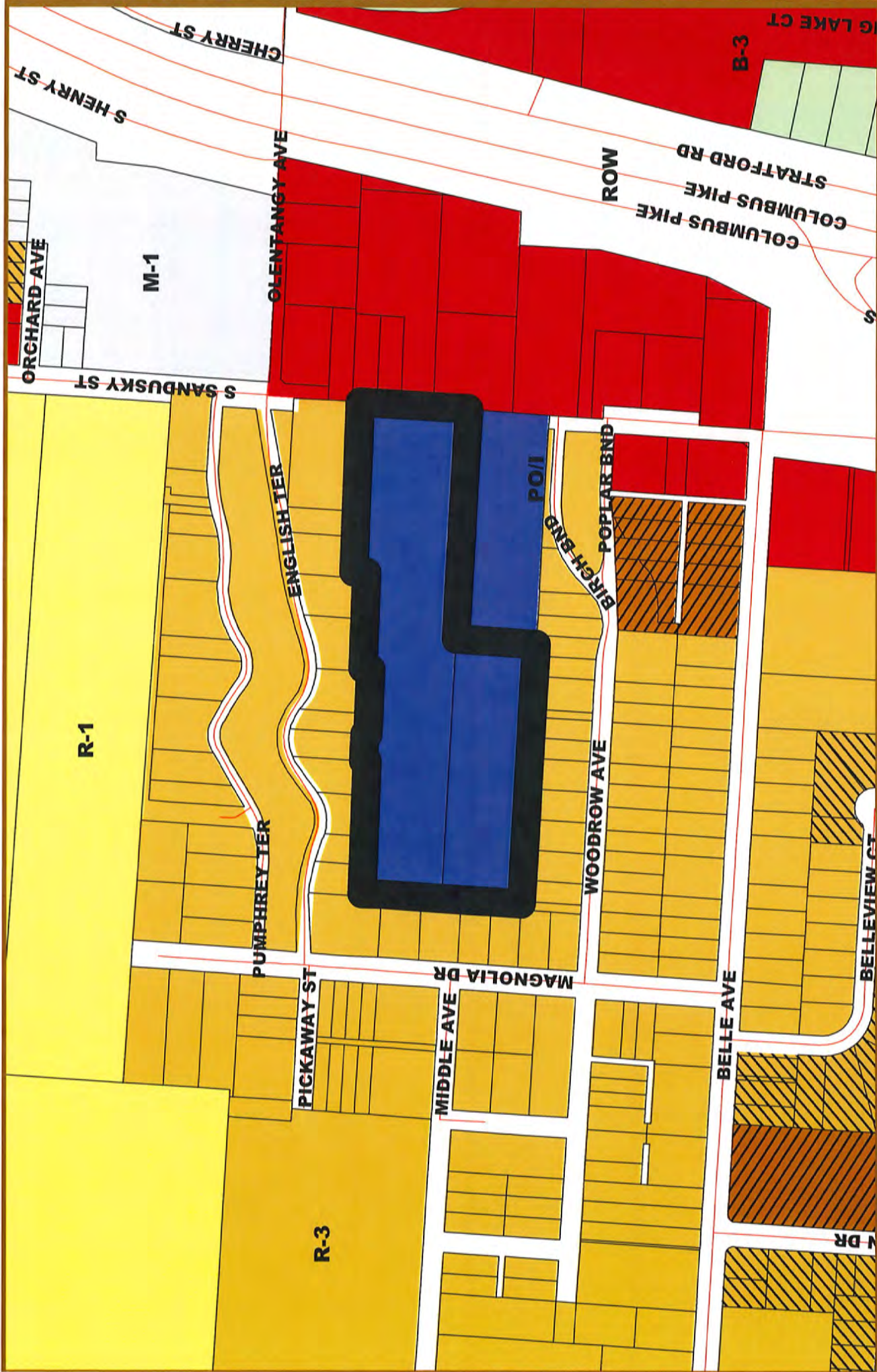
Staff recommends approval of a request by the Delaware General Health District for a Preliminary Development Plan for a New Office Building at 470 South Sandusky Street on approximately 9.4 acres on property zoned PO/I (Planned Office/Institutional District).

1. The applicant needs to obtain engineering approvals, including any storm water and utility issues that need to be worked out through the Engineering and Utilities Departments. All comments regarding the layout and details of the project are preliminary and subject to modification or change based on the final technical review by the Engineering Department once a complete plan set is submitted for review.
2. The new office building shall utilize the existing northernmost curb cut from South Sandusky Street to access the development while the southernmost curb cut would be eliminated.
3. An emergency only curb cut with a gravel driveway (approved by the Fire Department) shall extend from Magnolia Drive on the western portion of the site into the development. Bollards shall (as approved by the Fire Department) shall separate the emergency access drive from Magnolia Drive.
4. The dumpster and associated enclosure shall be enclosed by brick or stone that matches the building with wood doors painted or stained to match.
5. A tree survey shall be submitted that achieves compliance with Chapter 1168 shall be submitted during the Final Development Plan process.
6. Shade trees shall be planted along South Sandusky Street per the zoning code.
7. Interior parking lot landscaping and foundation landscaping shall be planted per the zoning code.
8. Perimeter buffering adjacent to the single-family houses to the north, south and west shall be installed per the zoning code or shall obtain a variance for such.
9. Street trees along South Sandusky Street shall be planted and/or replaced per the zoning code.
10. Any landscape plans shall be reviewed and approved by the Shade Tree Commission.
11. The lighting plan shall achieve compliance with the zoning code and approved by the City.
12. Any signage shall be documented on the Final Development Plan and achieve compliance with the adopted Gateways and Corridor Plan.
13. The entire development would have to achieve compliance with the minimum engineering, public works and fire department requirements.
14. All building appurtenances (coping, downspouts, etc.) shall be painted to match the adjacent building color.
15. The applicant shall submit all building elevations along with material and color samples for all building materials for staff review and approval.
16. The existing house shall to achieve compliance with the Ohio Building Code to be utilized for storage.



2020-0035
Preliminary Development Plan
Delaware General Health District - 470 South Sandusky Street
Location Map





2020-0035
 Preliminary Development Plan
 Delaware General Health District - 470 South Sandusky Street
 Zoning Map





2020-0035
Preliminary Development Plan
Delaware General Health District - 470 South Sandusky Street
Aerial (2016) Map



RFC# XX-XXX

PRELIMINARY DEVELOPMENT PLAN FOR

DELAWARE GENERAL HEALTH DISTRICT

NEW HEADQUARTER BUILDING

470 S. SANDUSKY STREET
DELAWARE, OHIO 45056
JANUARY, 2020



LOCATION MAP
NO SCALE

SHEET INDEX

1	TITLE SHEET
2	SURVEY
3	SITE DEMOLITION PLAN
4	SITE LAYOUT/DIMENSION PLAN

OWNER:
DELAWARE COUNTY HEALTH DISTRICT
3 W WINTER STREET
DELAWARE, OH 43015
(740) 203-2002

SURVEYOR:
PATRICK SURVEYING LLC
1400 W. MAIN ST.
POWELL, OH 43065
(614) 799-0031

ENGINEER:
MOODY ENGINEERING
300 SPRUCE ST
SUITE 200
COLUMBUS, OH 43215
(614) 280-8999

ARCHITECT:
MOODY ANGLAN
300 SPRUCE ST
SUITE 300
COLUMBUS, OH 43215
(614) 461-4664

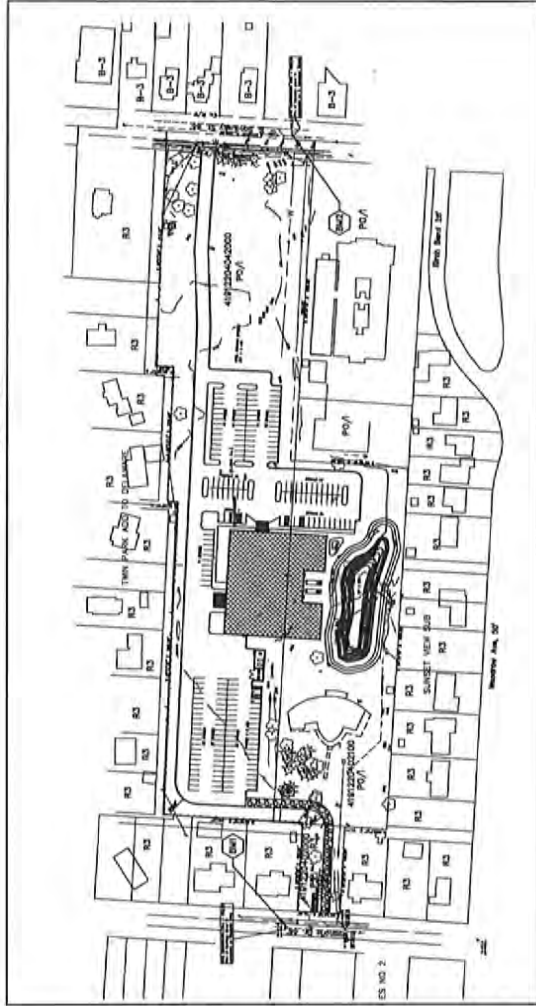


300 SPRUCE STREET
SUITE 200
COLUMBUS, OHIO 43215
P. 614 280 8933
MOODY-ENGLAN

REGISTERED ENGINEER'S
SIGNATURE AND SEAL

DATE

C001



CHANGE ORDER SCHEDULE

CHANGE	REMOVED	DATE OF	DESCRIPTION OF CHANGE	DATE	APPROVED BY	DATE

BENCH MARKS

SOURCE BENCHMARK
ELEVATION ESTABLISHED FROM GPS OBSERVATIONS
MASTER BENCHMARKS
BENCHMARK #1
LOCATION: SANITARY AIR RM IN PAVIDMENT OF MANHOLE DRIVE
ELEVATION
BENCHMARK #2
LOCATION: SANITARY AIR RM IN PAVIDMENT OF S. SANDUSKY STREET
ELEVATION

GENERAL SUMMARY

ACRES
TOTAL LOT SIZE
MINIMUM LOT WIDTH
MINIMUM LOT DEPTH
SUA 1000 SETBACK
TOTAL LOT AREA

PERMITTED USE
PRE-DEVELOPED IMPROVED AREA
POST-DEVELOPED IMPROVED AREA
% IMPROVED

AVERAGE DAILY TRAFFIC

N/A

FLOODPLAIN

FLOOD INSURANCE PREMIUMS
FLOOD HAZARD AREA

VARIANCES

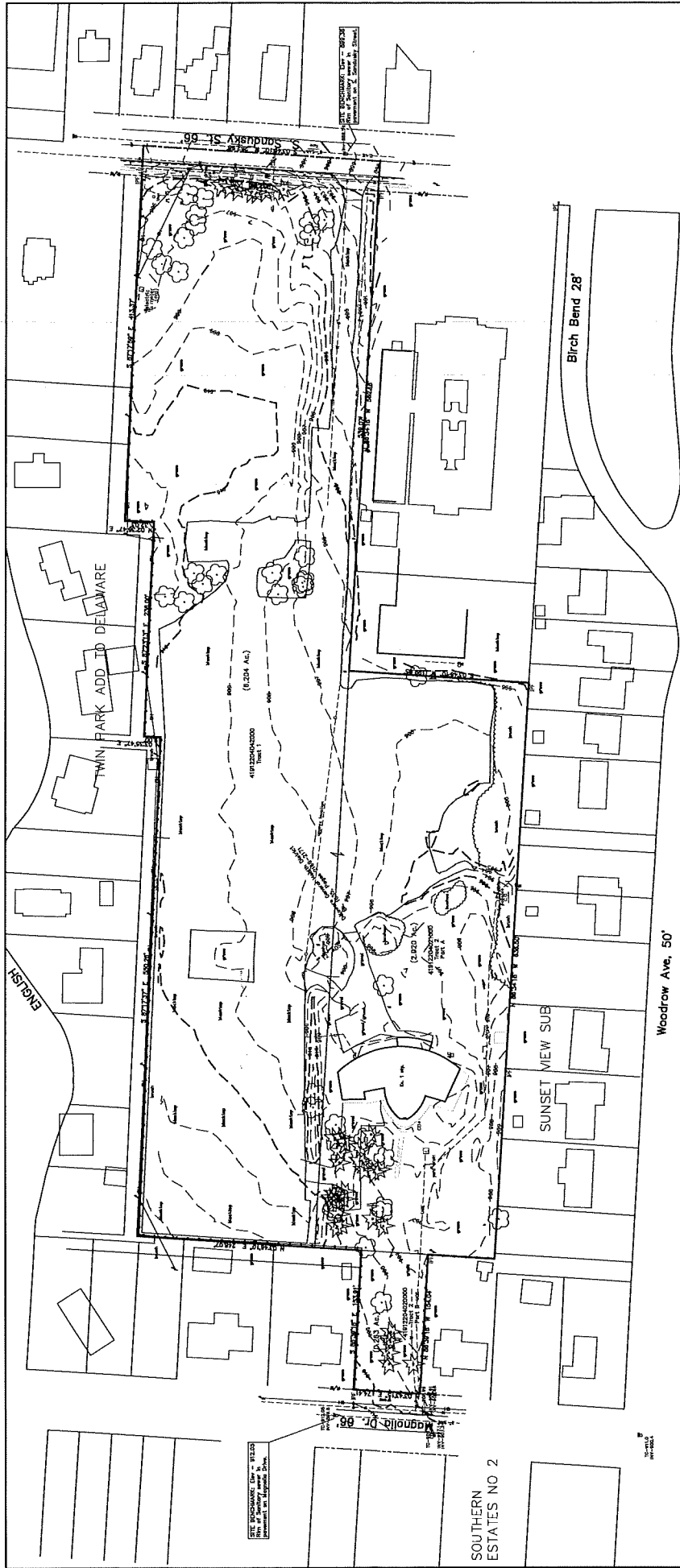
N/A

UTILITY COMPANIES

DEL-OH WATER COMPANY, INC.
12750 DELAWARE DRIVE
DELAWARE, OHIO 43015
ATTENTION: SHANE CLARK, P.E.
(614) 548-7146
COLUMBIA GAS OF OHIO
820 W. CORDEALE AVE.
DELAWARE, OHIO 43015
ATTENTION: MARK GUNLAP
(614) 305-3432
DELAWARE COUNTY SANITARY ENGINEER
52 CHAMBERLAIN STREET
DELAWARE, OHIO 43015
(740) 832-3246

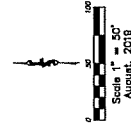
SCOPE OF WORK:
THE PROJECT SCOPE IS A NEW FULLY SPRINKLERED
CONSTRUCTION. THE PROJECT INCLUDES DEMOLITION OF
EXISTING LABORATORIES AND 4 DDM ROOMS FOR THE
REQUIREMENT OF PATIENTS. ADDITIONALLY, THERE IS A
PHYSICIAN OFFICE, PHYSICIAN RECEPTION AREA, PHYSICIAN
OFFICE CENTER AND BREAKROOM FOR STAFF USE ONLY.
FOR THE STORAGE OF NON COMBUSTIBLE ITEMS AND IS
FOR THE STORAGE OF NON COMBUSTIBLE ITEMS AND IS
DEMOGRAPHIC ARE IN APPROVED LOCKED FLAMMABLE
CABINETS, AS REQUIRED, AND NOT IN EXCESS OF THOSE
LISTED IN OBC TABLE 307.1.





LEGEND

- PT 0 Iron Pin Flag
- PT 1 Iron Pin Flag
- PT 2 Iron Pin Flag
- PT 3 Iron Pin Flag
- PT 4 Iron Pin Flag
- PT 5 Iron Pin Flag
- PT 6 Iron Pin Flag
- PT 7 Iron Pin Flag
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- PT 96 Iron Pin Flag
- PT 97 Iron Pin Flag
- PT 98 Iron Pin Flag
- PT 99 Iron Pin Flag
- PT 100 Iron Pin Flag



The information on this drawing was prepared by the engineer or architect who is responsible for the design and construction of the project. It is the responsibility of the client to verify the accuracy of the information and to ensure that the project is completed in accordance with the drawing. The engineer or architect does not warrant the accuracy of the information or the results of the project.

PARADEL, C.
 1000 W. 10th Street
 Columbus, Ohio 43261
 Tel: (614) 799-3031
 Fax: (614) 799-3032

Being a 9.39 acre tract
 located in Lot 17, Sec. 1, T4, R19
 City of Delaware, Delaware County, Ohio

DATE: 8/13/18
 DRAWING NO.: 13291
 SHEET: 1 OF 1



New Headquarters Building
 1000 W. 100th St.
 Columbus, OH 43260

Prepared for:
Delaware General Health District
 Health District
 1000 W. 100th St.
 Columbus, OH 43260

MOODY ARCHITECTS
 200 WEST STREET
 COLUMBUS, OHIO 43260
 P. 614.260.9388
 MOODYARCH.COM

DESIGNED BY: TONY DORIC
 DATE: MAY 1923

SITE DEMOLITION PLAN
C100

PRELIMINARY DEVELOPMENT PLAN | JANUARY 2023

SCALE 1"=50'

LEGEND

- ASPHALT PAVEMENT TO BE REMOVED
- CONCRETE TO BE REMOVED
- GRAVEL TO BE REMOVED

CODED NOTES

- EXISTING STONE FLAGGING TO BE REMOVED
- EXISTING AND NEWER TO BE REMOVED

1" THICKNESS OF 12"

10.2

WOODROW AVE. 50'

BIRCH BEND 28'

SUNSET VIEW SUB

TWIN PARK ADD TO DELAWARE

99th St. (Asphalt)

S. 100th St.

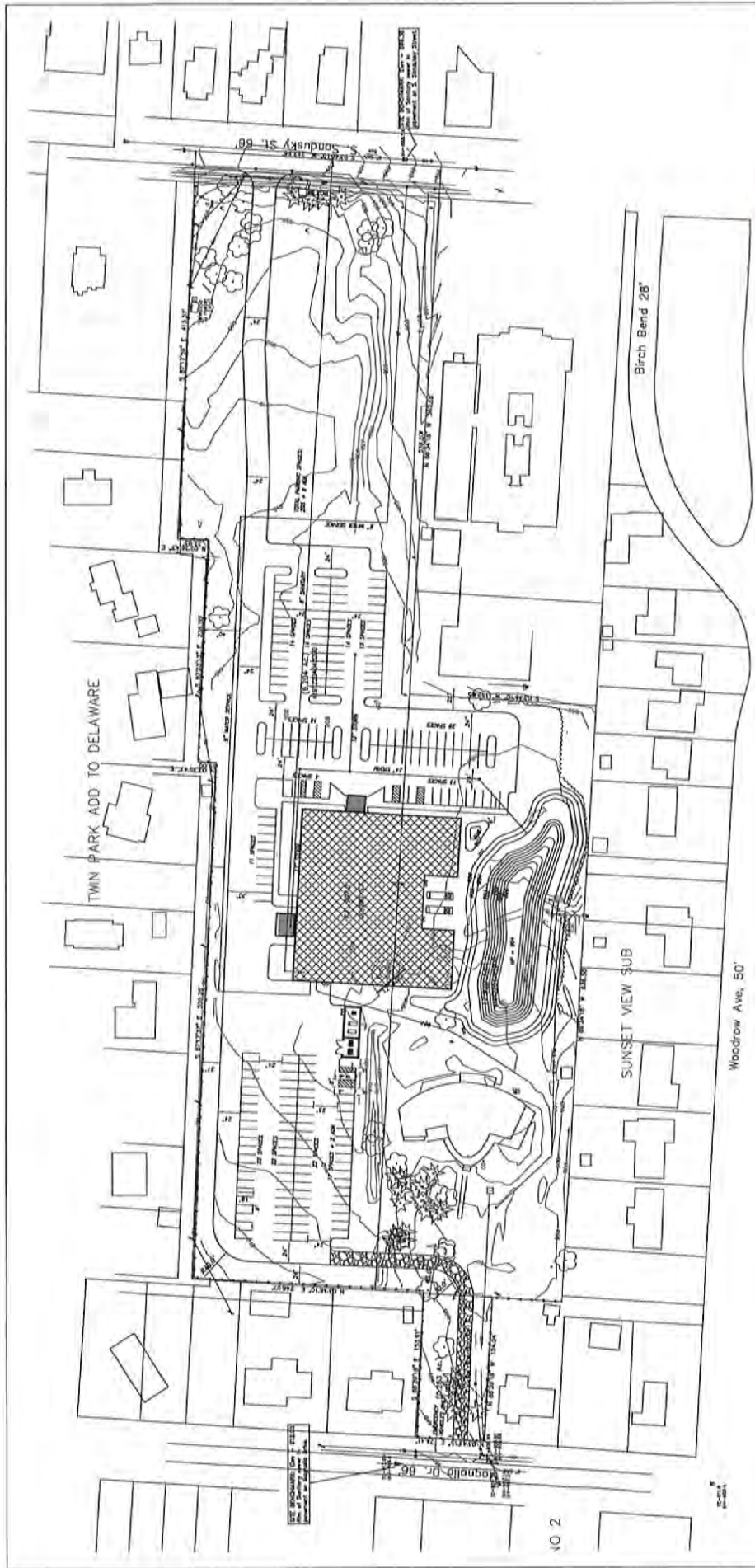
S. 101st St.

S. 102nd St.

S. 103rd St.

S. 104th St.

S. 105th St.



New Headquarters Building
 101 East Main Street
 Dover, DE 19901
 Delaware General Health District
 Health Bureau

Dwg. Descr.: 22, Title Descr.: MW 1927D

SITE LAYOUT PLAN C200

PRELIMINARY DEVELOPMENT PLAN JANUARY 2022



Woodrow Ave, 50'

SUNSET VIEW SUB

Birch Bend 28'

Sandusky St. 66'

TWIN PARK ADD TO DELAWARE

10 2

North



1 PLAN FIRST FLOOR CONCEPT PLAN
302' x 152'



#	DATE	CHANGE DESCRIPTION

DELAWARE GENERAL HEALTH
 415 JACOB ST
 DELAWARE OHIO 43015

300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: 614-481-4884
 J. MOODY-NOLLAN FAX: 614-284-8881

CONCEPT PLAN

10/02/19
 Project # A1
 SCHEMATIC DESIGN
 PRELIMINARY
 DRAWING
 NOT FOR
 CONSTRUCTION



1 NORTH ELEVATION
3/32" = 1'-0"



2 SOUTH ELEVATION
3/32" = 1'-0"



3 EAST ELEVATION
3/32" = 1'-0"



4 WEST ELEVATION
3/32" = 1'-0"

#	DATE	CHANGE DESCRIPTION



DELAWARE GENERAL HEALTH DISTRICT
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 451-4884
 MOON-NOLAN FAX: (614) 282-8881

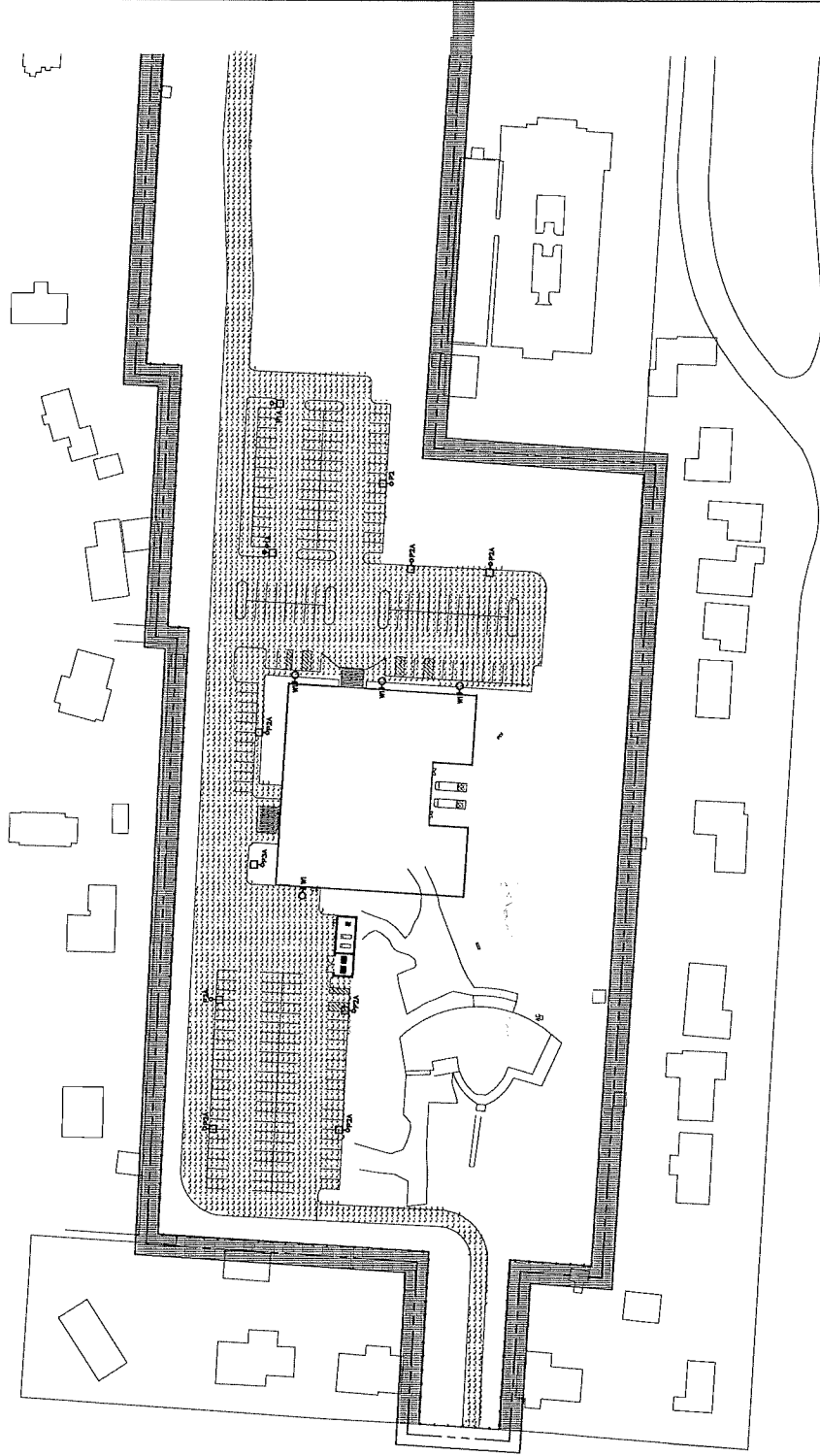
EXTERIOR ELEVATIONS

10/25/18
 PROJECT: Delaware General Health District
 SHEET: EXTERIOR ELEVATIONS
 DRAWN BY: J. M. MOON
 CHECKED BY: J. M. MOON
 DATE: 10/25/18
 PROJECT: DELAWARE GENERAL HEALTH DISTRICT
 SHEET: EXTERIOR ELEVATIONS
 DRAWN BY: J. M. MOON
 CHECKED BY: J. M. MOON
 DATE: 10/25/18

A2
 SCHEMATIC DESIGN

CALCULATION SUMMARY

DESCRIPTION	UNITS	AVERAGE	MAXIMUM	MINIMUM	MAXIMUM/MINIMUM
BTC	FC	0.02	4.00	0.00	N/A
PROPERTY BOUNDARY TO 1/2"=1'-0" RECORD	FC	0.02	0.04	0.00	N/A



SITE ELECTRICAL PLAN
SCALE: 1" = 30'-0"

10/2019
DRAWN BY: [blank] CHECKED BY: [blank]
Proj. #
E001
SCHEMATIC DESIGN

PROGRESS DRAWING NOT FOR CONSTRUCTION

300 SPRUCE STREET
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-3881

DEL AWARE GENERAL HEALTH
DISTRICT
475 SANDHURST ST.
COLUMBUS, OHIO 43215

10/2019
DRAWN BY: [blank] CHECKED BY: [blank]
Proj. #
E001
SCHEMATIC DESIGN

PRATER
Engineering Associates, Inc.
8130 Wilson Road
Columbus, OH 43235
PHONE: (614) 798-4888
FAX: (614) 798-2222

10/2019
DRAWN BY: [blank] CHECKED BY: [blank]
Proj. #
E001
SCHEMATIC DESIGN

FIXTURE SCHEDULE

PANEL	SYMBOL	DESCRIPTION	MANUFACTURER	DETAILS NUMBER	LAMPS	REMARKS
1	W	WALL MOUNTED LED AREA LIGHTING	UTRONA	200W 1 LED 300 700 400 700 400 700 400 700 400 700	200W LED AREA LIGHTING	12'-0" WALL MOUNTING
2	PA	POLE MOUNTED LED AREA LIGHTING	UTRONA	200W 1 LED 300 700 400 700 400 700 400 700 400 700	200W LED AREA LIGHTING	POLE MOUNTING
3	PS	POLE MOUNTED LED AREA LIGHTING	UTRONA	200W 1 LED 300 700 400 700 400 700 400 700 400 700	200W LED AREA LIGHTING	POLE MOUNTING
4	PA	POLE MOUNTED LED AREA LIGHTING	UTRONA	200W 1 LED 300 700 400 700 400 700 400 700 400 700	200W LED AREA LIGHTING	POLE MOUNTING
5	PA	POLE MOUNTED LED AREA LIGHTING	UTRONA	200W 1 LED 300 700 400 700 400 700 400 700 400 700	200W LED AREA LIGHTING	POLE MOUNTING

D-Series Size 1 LED Area Luminaire

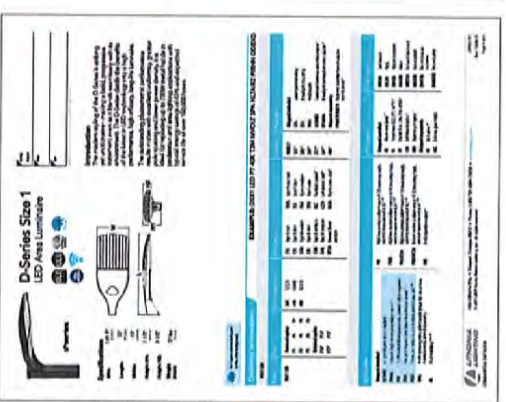
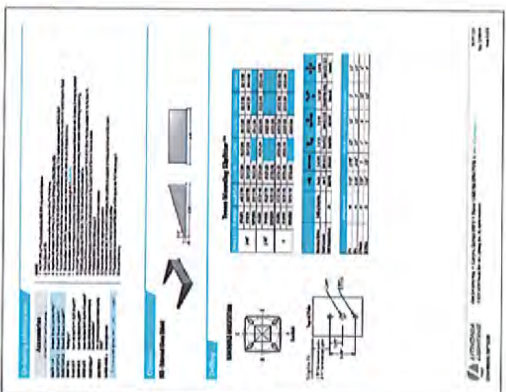
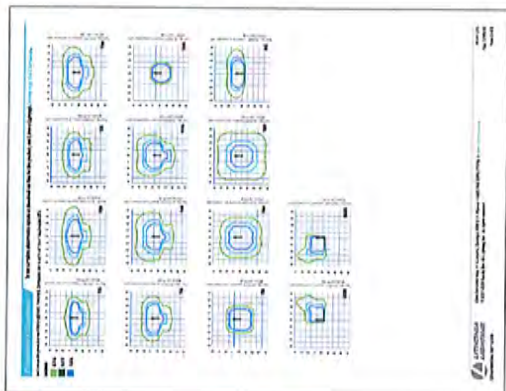
Product Description: This luminaire is designed for use in a variety of applications, including parking lots, walkways, and general area lighting. It features a high-efficiency LED light source and a durable, weather-resistant housing.

Model	Power (W)	Height (ft)	Beam Spread (ft)	Beam Angle (deg)	Mounting
200W 1 LED 300 700 400 700 400 700 400 700 400 700	200	300	700	400	700

D-Series Size 1 LED Area Luminaire

Product Description: This luminaire is designed for use in a variety of applications, including parking lots, walkways, and general area lighting. It features a high-efficiency LED light source and a durable, weather-resistant housing.

Model	Power (W)	Height (ft)	Beam Spread (ft)	Beam Angle (deg)	Mounting
200W 1 LED 300 700 400 700 400 700 400 700 400 700	200	300	700	400	700



NO.	DATE	CHANGE DESCRIPTION

DELAWARE GENERAL HEALTH DISTRICT
 405 JEFFERSON ST
 WILMINGTON, DE 19801

300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 451-4884
 FAX: (614) 293-8881

DATE: 10/20/19
 DRAWN BY: AMR
 CHECKED BY: CMB

PROJECT: DELAWARE GENERAL HEALTH DISTRICT
 DRAWING: ELECTRICAL PLAN
 SHEET: E002
 SCALE: AS SHOWN

PROGRESS DRAWING NOT FOR CONSTRUCTION

SCHMIDT & BURNETT
 ENGINEERS
 10000 WILSON ROAD
 SUITE 100
 WILMINGTON, DE 19840
 PHONE: (302) 441-1100
 FAX: (302) 441-1101

PRAATER
 Engineering Associates, Inc.
 6132 Wilson Road
 Columbus, Ohio 43231
 PHONE: (614) 788-2004
 FAX: (614) 788-2004



**CITY OF DELAWARE, OHIO
PLANNING & COMMUNITY DEVELOPMENT
MASTER APPLICATION FORM**



Project # _____

Case # 2020 - 0035
PPP - \$4,220

Planning Commission

- | | |
|--|--|
| <input type="checkbox"/> Amended Final Development Plan | <input type="checkbox"/> Final Development Plan Extension |
| <input type="checkbox"/> Amended Final Subdivision Plat | <input type="checkbox"/> Final Subdivision Plat |
| <input type="checkbox"/> Amended Preliminary Development Plan | <input type="checkbox"/> Final Subdivision Plat Extension |
| <input type="checkbox"/> Amended Preliminary Subdivision Plat | <input type="checkbox"/> Floodplain Permit |
| <input type="checkbox"/> Annexation Review | <input type="checkbox"/> Lot Split |
| <input type="checkbox"/> Combined Preliminary & Final Development Plan | <input type="checkbox"/> Pre-annexation Agreement |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input checked="" type="checkbox"/> Preliminary Development Plan |
| <input type="checkbox"/> Concept Plan | <input type="checkbox"/> Preliminary Dev Plan Extension |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Preliminary Sub Plat |
| <input type="checkbox"/> Determination of Similar Use | <input type="checkbox"/> Preliminary Sub Plat Extension |
| <input type="checkbox"/> Development Plan Exemption | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Final Development Plan | <input type="checkbox"/> Subdivision Variance |

- Substitution of a Non-Conforming Use
- Vacation-Alley
- Vacation-Easement
- Vacation-Street
- Board of Zoning Appeals
- Appeal Administrative Decision or Interpretation
- Conditional Use Permit
- Substitution of Equal or Less Non-Conforming Use
- Variance



Subdivision/Project Name DELAWARE GENERAL HEALTH DISTRICT Address 470 S. SANDUSKY ST, DELAWARE 43015

Acreage 9.4 Square Footage 30,000 Number of Lots NA Number of Units NA

Zoning District/Land Use POI Proposed Zoning/Land Use POI Parcel # 419-122-04-021-000
419-122-04-042-000
419-122-04-022-000

Applicant Name DELAWARE GENERAL HEALTH DISTRICT Contact Person SHELIA HIDDLESON

Applicant Address 1 & 3 WEST WINTON STREET

Phone 740-368-1700 Fax 740-368-1736 E-mail SHIDDLESON@DELAWAREHEALTH.ORG

Owner Name DELAWARE GENERAL HEALTH DISTRICT Contact Person DAVID LETTERLE

Owner Address 1 & 3 WEST WINTON STREET, DELAWARE, OHIO 43015-0519

Phone 740-368-1700 Fax 740-368-1736 E-mail DLETTERLE@DELAWAREHEALTH.ORG

Engineer/Architect/Attorney MOONY NOLAN Contact Person WILLIAM L. SOUBRES, AIA

Address 300 SPEARS ST, SUITE 300, COLUMBUS, OHIO 43021

Phone 614-461-4664 Fax NA E-mail BSOUBRES@MOONYNOLAN.COM

The undersigned, do hereby verify the truth and correctness of all facts and information presented with this application and authorize field inspections by City Staff.

Shelia Hiddleston
Owner Signature

Shelia Hiddleston, RN, MS
Health Commissioner

Lisa A. Ringer
Agent Signature

LISA A. RINGER
Agent Printed Name

Sworn to before me and subscribed in my presence this 8th day of JANUARY, 2020



Notary Stamp

Daniel W. Delk
Notary Public

Daniel W. Delk
Notary Public, State of Ohio
My Commission Expires 05-27-2021